

# **Miami River Commission Public Meeting Minutes February 5, 2024**

The Miami River Commission's (MRC) public meeting convened at noon, February 8, 2024, in the Downtown Library Auditorium, 101 W Flagler. Sign in sheets are attached.

## **Miami River Commission (MRC) Policy Committee Members and/or Designees attending:**

Horacio Stuart Aguirre, Chairman, Appointed by the Governor  
Jim Murley, Vice Chairman, designee for Miami-Dade County Mayor Cava  
Commissioner Miguel Angel Gabela, City of Miami Commission  
Betty Hermida, designee for City of Miami Commissioner Gabela  
Megan Kelly, designee for City of Miami Mayor Francis Suarez  
Eddie Marti Kring, designee for County Commissioner Eileen Higgins  
Patty Harris, Appointed by the Governor  
Theodora Long, Neighborhood Representative appointed by Board of County Commissioners  
Eileen Broton, Neighborhood Representative Appointed by City of Miami Commission  
Alvaro Coradin, designee for Sara Babun appointed by Miami-Dade County  
Bruce Brown, Miami River Marine Group  
John Michael Cornell, designee for Luis Garcia  
Spencer Crowley, Member at Large Appointed by City of Miami Commission  
Neal Schafers, designee for the Downtown Development Authority  
Philip Everingham, designee for the Marine Council  
Augustin Gus Barrera, designee for the Greater Miami Chamber of Commerce

## **MRC Staff:**

Brett Bibeau, Managing Director

**I) Chair's Report** - MRC Chairman Aguirre provided the following report:  
The MRC unanimously adopted their January 8, 2024 public meeting minutes.

I'm pleased to announce that for the 2<sup>nd</sup> consecutive year the Florida Department of Environmental Protection awarded a competitive \$500,000 grant to the Miami River Commission. 100% of this funding will be spent directly cleaning the Miami River with the use of stormwater system vacuum trucks, a street sweeper truck, and manual labor.

The free 25<sup>th</sup> Annual Miami Riverday will be held April 6, 2024, 1-6 PM, Lummus Park, 250 NW North River Drive, featuring free boat rides, live music, environmental education, historic reenactors, children's activities, food and drinks. We are sending marketing materials to printers at the end of this week so this serves as the last call for sponsorships which are available with Brett.

In addition, last call to purchase advertisements which are available in the 21<sup>st</sup> Annual Miami River Map and Guide.

On behalf of the Miami River Commission, I warmly welcome our newest board members Honorable City Commissioner Miguel Angel Gabela and his designee Betty Hermida.

MRC Vice Chairman Jim Murley provided the following Voluntary Improvement Plan (VIP) Report:

The Miami River Commission has been actively assisting the efforts of the City, County, State, and private sector to clean up the Miami River District. The MRC pays professional maintenance companies daily to remove litter, invasive plant species, graffiti and provide landscaping, pressure washing, vac truck, street sweeper and Scavenger Water Decontamination Vessel services along the Miami River. The MRC thanks the Hands on Miami volunteers for picking up garbage along the Miami River in Curtis Park on January 20, and in Sewell Park on January 28.

## **II) Remarks from Honorable City of Miami District 1 Commissioner Miguel Angel Gabela**

City of Miami Commissioner Gabela stated:

I'm honored that the City Commission unanimously appointed me to represent the entire City Commission on the Miami River Commission. I proudly own and live in a single-family home on the Miami River.

I'm pleased to report that the City of Miami is going to invest millions to improve the Miami River in District 1, with the following 3 major projects:

1. Major renovations to Sewell Park are designed and partially funded. I will be reviewing the design and encouraging construction ASAP.
2. In addition, major renovations of the public Riverwalk in Curtis Park are designed, fully funded and I will be requesting the City of Miami to select a contractor and commence construction ASAP.
3. The City of Miami has full funding and plans to construct the public on-road Miami River Greenway along NW North River Drive from 24 Ave – 19 Ave, featuring a wide mesa-beige sidewalk, landscaping, decorative lights, decorative trash cans, benches, new stormwater drainage, etc in areas that have no sidewalk today.

I'm happy to introduce my designee Betty Hermida, whom has joined us today.

I'm a strong supporter of the Miami River Commission's award-winning strategic plan which preserves the historic mixed-use Miami River District's following 3 geographic sections:



The “Lower River”, from Biscayne Bay to the NW 5 ST Bridge, features downtown with high density residential, hotels, restaurants, parks, etc.

The “Middle River”, from the 5 ST Bridge to the 22 Ave bridge, features single family residential neighborhoods, the Health District, River Landing, marinas, boatyards, parks, etc.

The “Upper River”, from the 22 Ave Bridge to the Salinity dam, features the heart of Port Miami River’s International Shipping Terminals and boatyards, which generate good paying jobs and critical international trade.

I appreciate the 25 years of successful MRC work which has significantly improved the Miami River District’s economy and natural environment, and I’m excited to roll up my sleeves with you and continue working hard improving the beautiful Miami River.

### **III) Discussion Regarding Status of Pending Permit Application to Construct a Public Riverwalk Connector Between Existing Public Riverwalks Beneath 2 Ave Bridge and Latitude on the River**

Spencer Crowley, Jim Murley and Brett Bibeau presented pictures and plans for Latitude on the River’s submitted and pending application to construct a small bridge structure to connect the 2 existing sections of the public riverwalk between Latitude on the River and the 2 Ave Bridge. The Army Corps of Engineers continues to consider Latitude on the River’s application to construct a small bridge structure to connect the 2 sections of existing public Riverwalk, because surprisingly the public Riverwalk beneath the 2 Ave Bridge is located in the Federal Navigable Channel. MRC Director Bibeau stated he recently personally visited the site with Antillean Marine, Hempstead Towing and Miami River Towing Company, all of which are emailing the Army Corps of Engineers to express no objections to the previously submitted permit application.

### **IV) Discussion Regarding Vessel Dockage Along the South Fork Tributary**

The “D5 Triangle” Miami -Dade County Public Works Manual and the following summary were distributed:

**“City of Miami, Miami 21, Regulations for T3-R which are applicable to Durham Park Neighborhood:**

- Extension of docks or piers into other waterways limited to 10 feet or 10% of waterway width, whichever is less. Further extensions permitted by Exception, when required by applicable agency.
- Only private pleasure craft may be docked or moored.
- Dock/ Pier Setbacks: 10 feet from any Abutting property
- Vessel setback: 5 feet from any Abutting property.
- Prohibited uses or appurtenances: davits in excess of 3 ton capacity, commercial vessels, commercial boat ramps, and commercial hauling and fueling.

The MRC does not have regulatory authority, therefore deferred this issue to the City of Miami and Miami-Dade County.

## **V) Subcommittees**

The Miami River Commission's Urban infill and Greenways Subcommittee's January 22, 2024 public meeting minutes were distributed.

The Miami River Commission's Stormwater Subcommittee's December 6 public meeting minutes were distributed.

## **VI) New Business**

The public meeting adjourned.

Miami River Commission Public Meeting

February 5, 2024 - Noon

Miami-Dade County Library, 101 W Flagler ST

Name	Organization	Telephone	Email
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PHIL EVERINGHAM	MRC/MARINE COUNCIL	305 951-9096	phemsdd@hotmail.com
Spencer Crowley	FIND	305 982 5549	tscrowley@aicw.org
Eileen Brofen	nrc springs garden	3790-4284	Eileen.Brofen@pellson.net
Juan Murlay	MRC/COE	786-719-9155	JAMES.Murlay@miamidade.gov
Betty Hermida	Comm. Cabelá	786-853-0559	
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Mark Bailey	Miami River Marine Group	305 637 4517	mark.bailey@miamirivermarinegroup.org
Theodora Long	MRC	305.401-4595	riverozk201@gmail.com
John Merman	MRC	550-214-1475	jmcorrell@earthlink.net
Brett Bibeau	MRC	305 644 0544	brettbibeau@miamirivercommission.org

Miami River Commission Public Meeting

February 5, 2024 - Noon

Miami-Dade County Library, 101 W Flagler ST

Name	Organization	Telephone	Email
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JURO TEJEDA	SFWMD		JTejeda@SFWMD.gov



# MIAMI RIVER BRIDGE

FEBRUARY 16, 2024

## SITE

- A-01 SITE MAP
- A-02 SITE LOCATION
- A-03 SITE MAP + PHOTOS
- A-04 SITE MAP + PHOTOS
- A-05 SITE MAP + PHOTOS
- A-06 ZONING MAP
- A-07 ZONING DATA
- A-08 SETBACKS
- A-09 DIAGRAMMATIC ROOF PLAN
- A-10 ZONING DIAGRAMS
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- A-14 CIRCULATION DIAGRAMS

## PLANS

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- A-19 L1 - ARRIVAL
- A-20 L1 - ARRIVAL
- A-21 L2 - PARKING + HOTEL LOBBY

## ELEVATIONS

- A-43 SOUTH ELEVATION
- A-44 EAST ELEVATION
- A-45 NORTH ELEVATION
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## RENDERINGS

- A-50 RENDERING
- A-51 RENDERINGS
- A-52 RENDERINGS
- A-53 RIVERWALK RENDERINGS

## PHASING

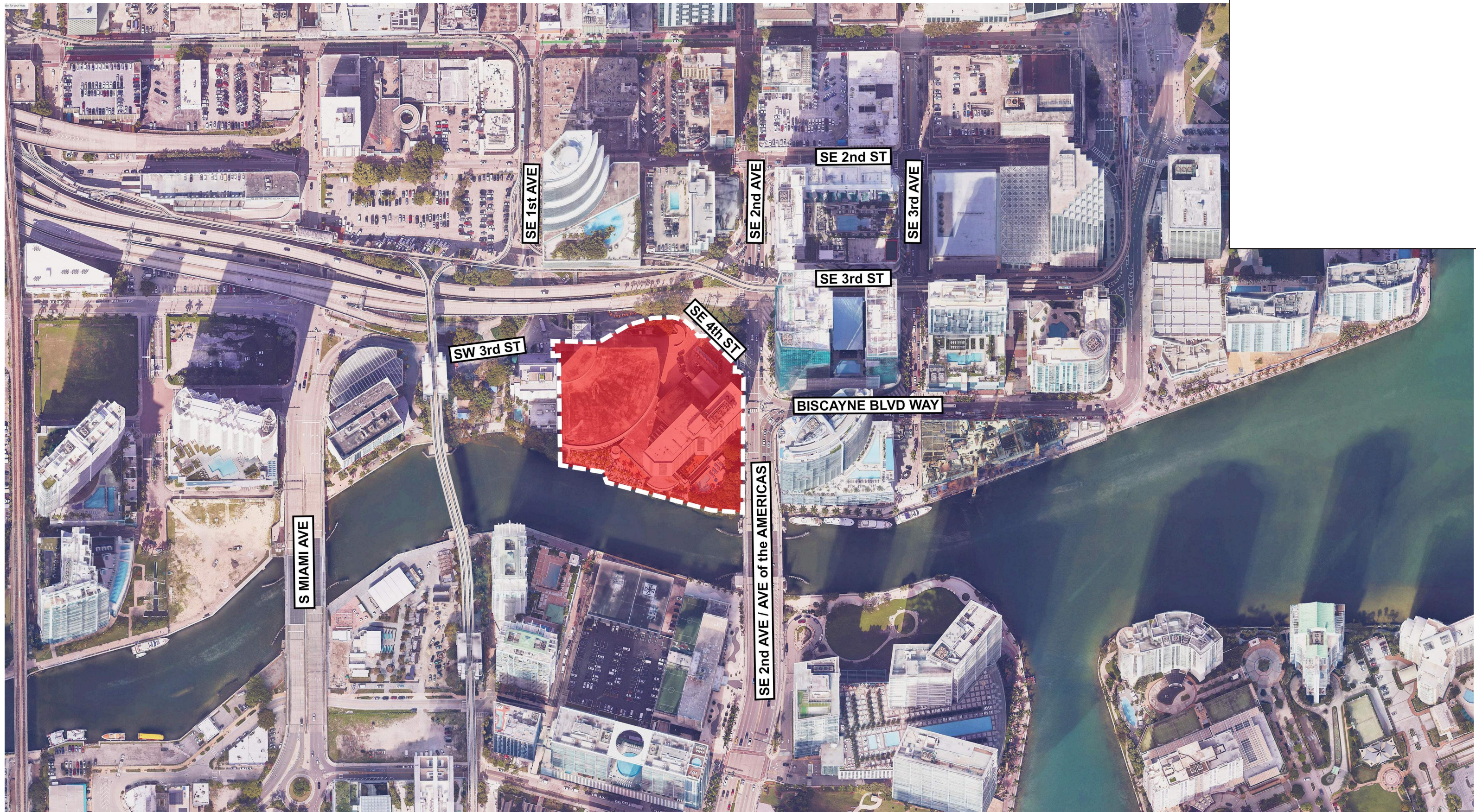
- A-54 PHASE 1 PLAN
- A-55 PHASE 1 RENDERING + FULL BUILD OUT

## LANDSCAPE

- L-003 PLANT IMAGES
- L-110 GROUND LEVEL RENDER PLAN
- L-111 GROUND LEVEL HARDSCAPE PLAN
- L-112 GROUND LEVEL TREE PLAN
- L-113 GROUND LEVEL SHRUB PLAN
- L-120 LEVEL 2 RENDER PLAN
- L-401 RIVERWALK SECTION
- L-501 PLANTING DETAILS
- L-603 GROUND LEVEL SCHEDULES
- L-604 LEVEL 2 SCHEDULES



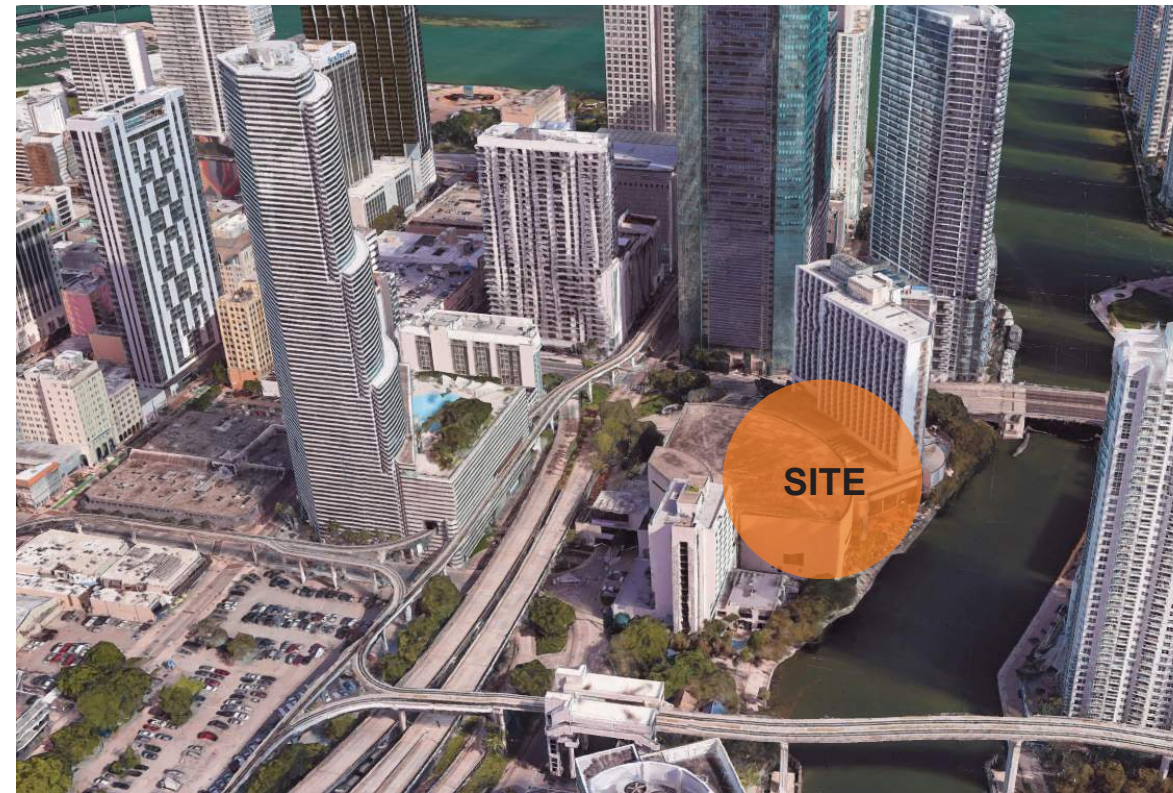




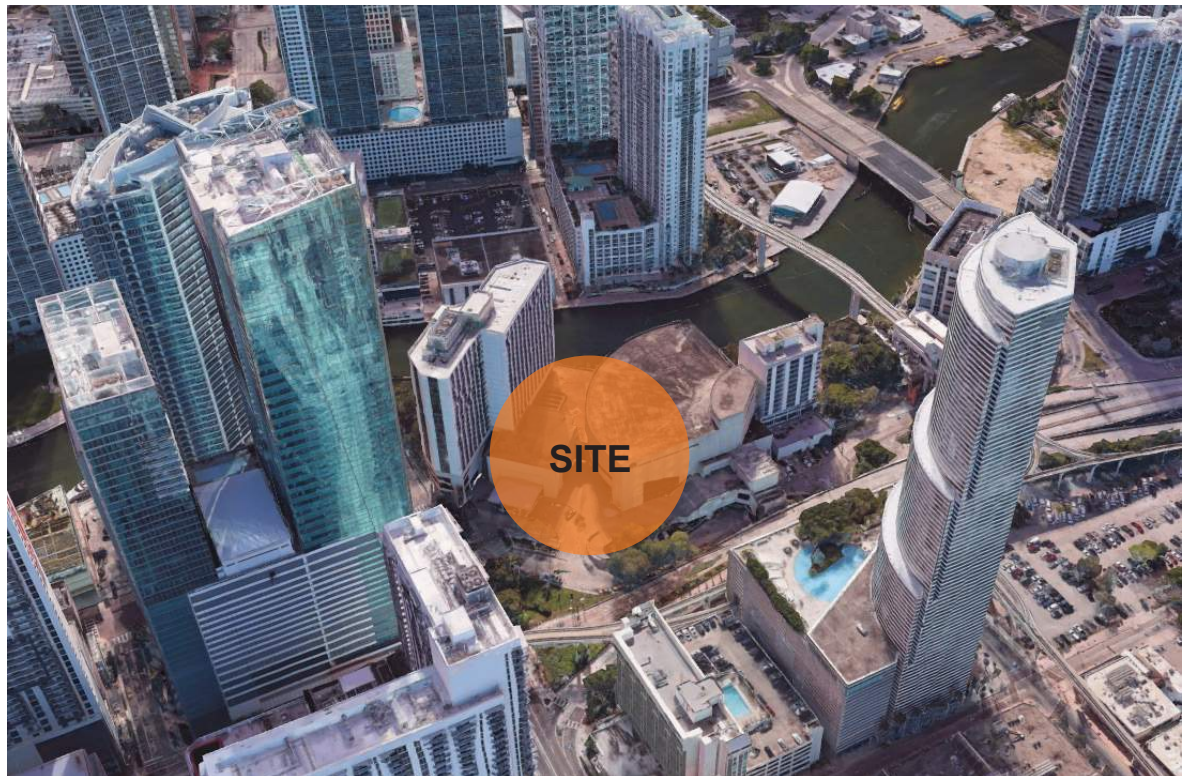




**NORTH AERIAL SITE VIEW**



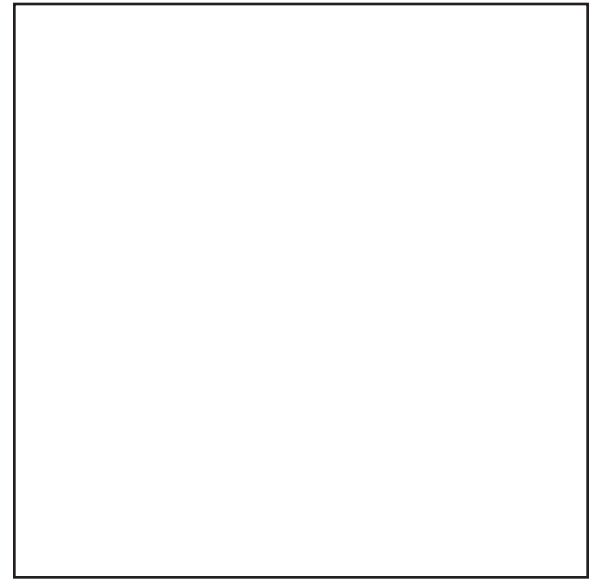
**SOUTH WEST AERIAL SITE VIEW**



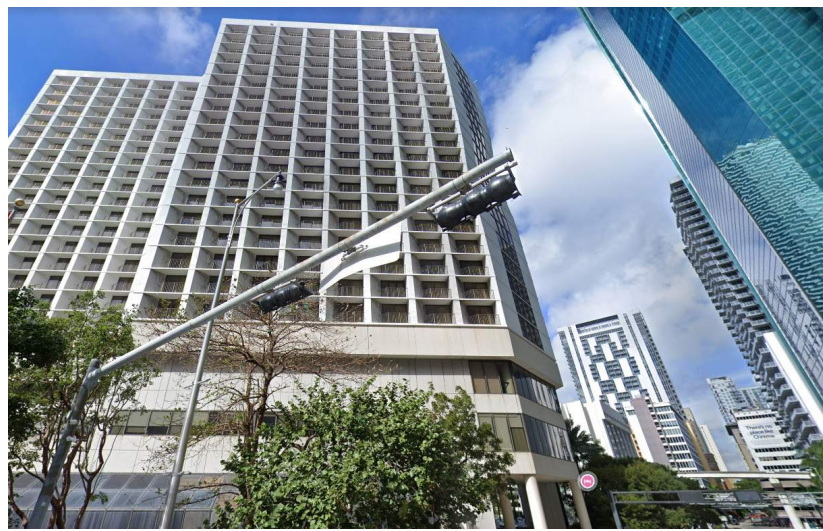
**NORTH EAST AERIAL SITE VIEW**



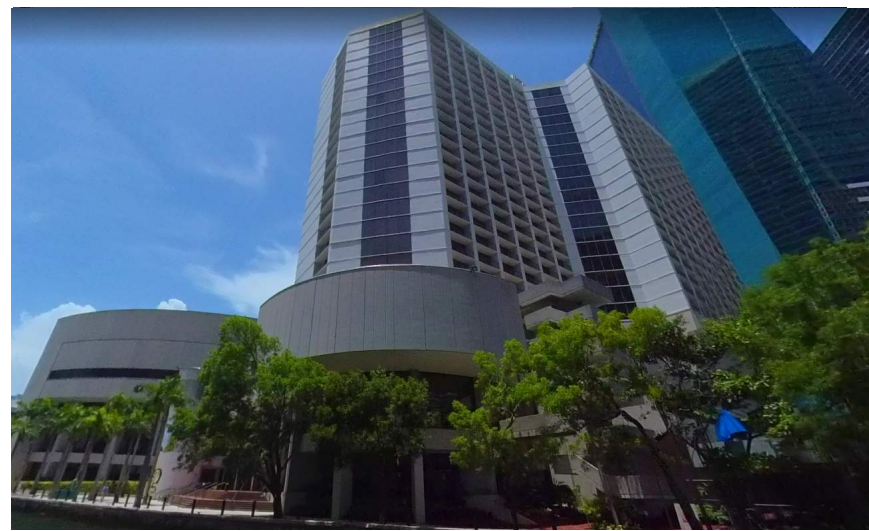
**SOUTH EAST AERIAL SITE VIEW**







1. VIEW FROM SOUTH SE 2nd AVE



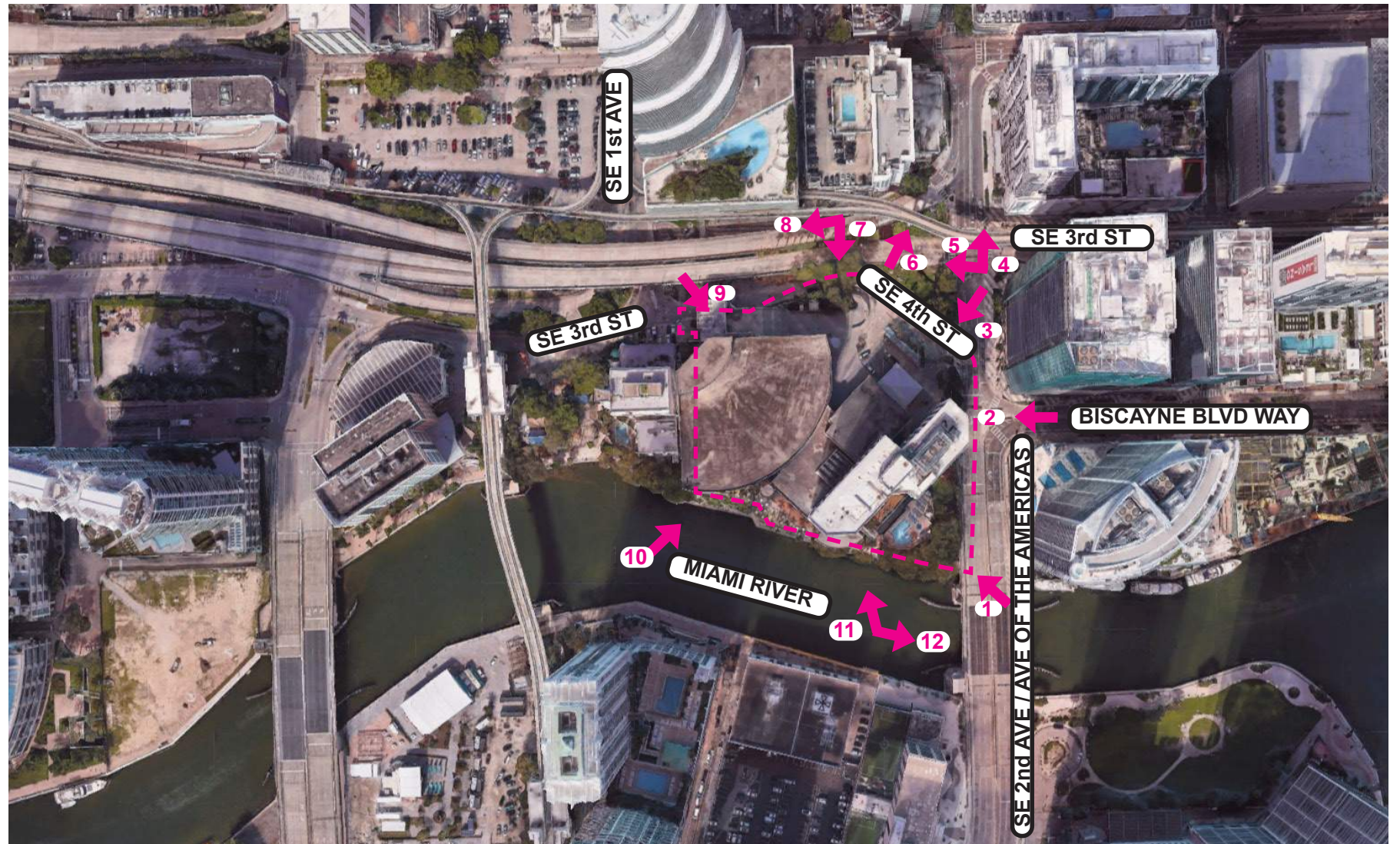
4. VIEW FROM NORTH SE 2nd AVE



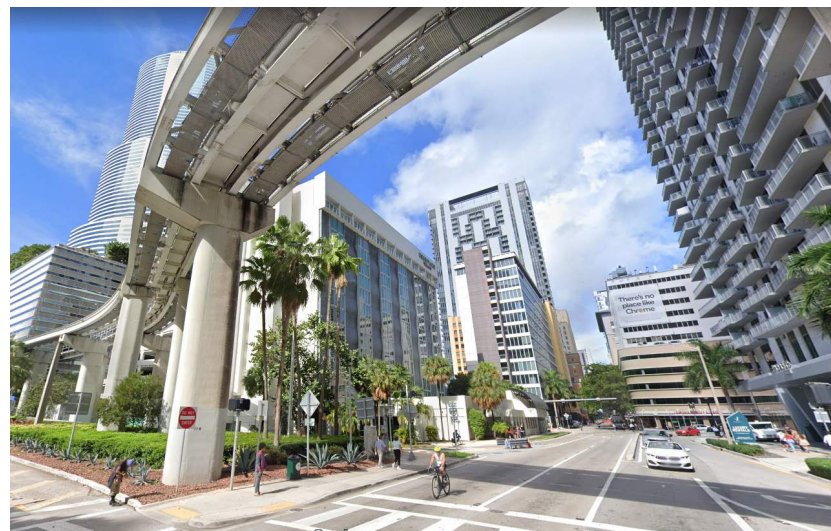
2. VIEW FROM BISCAYNE BLVD WAY



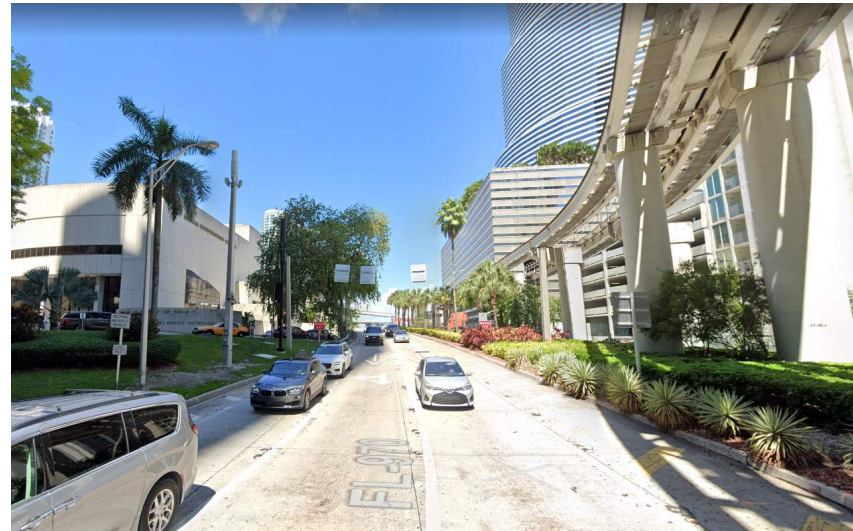
3. VIEW FROM NORTH SE 2nd AVE







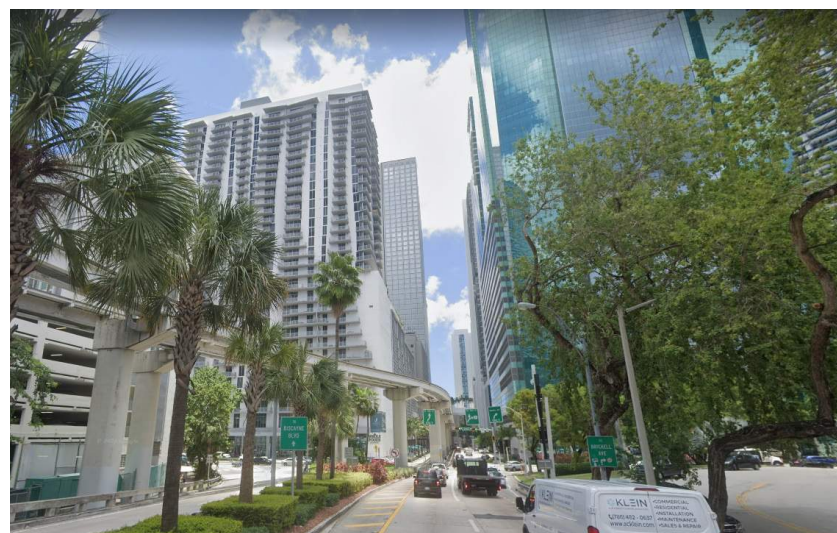
5. VIEW FROM NORTH SE 3rd ST



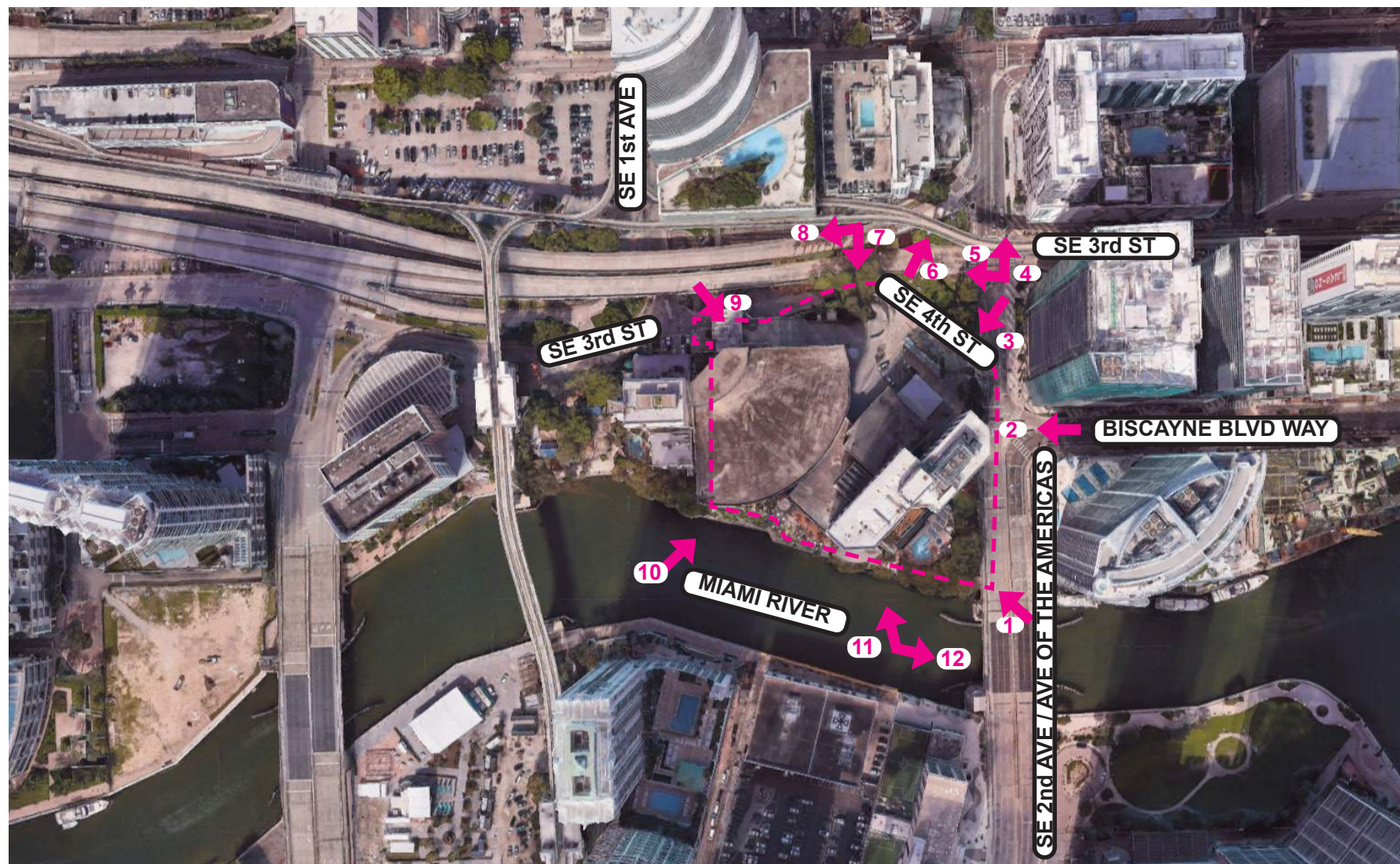
8. VIEW FROM END OF I-95 EXIT RAMP



6. VIEW FROM SOUTH SE 4th ST



7. VIEW FROM NORTH EAST SE 4th ST



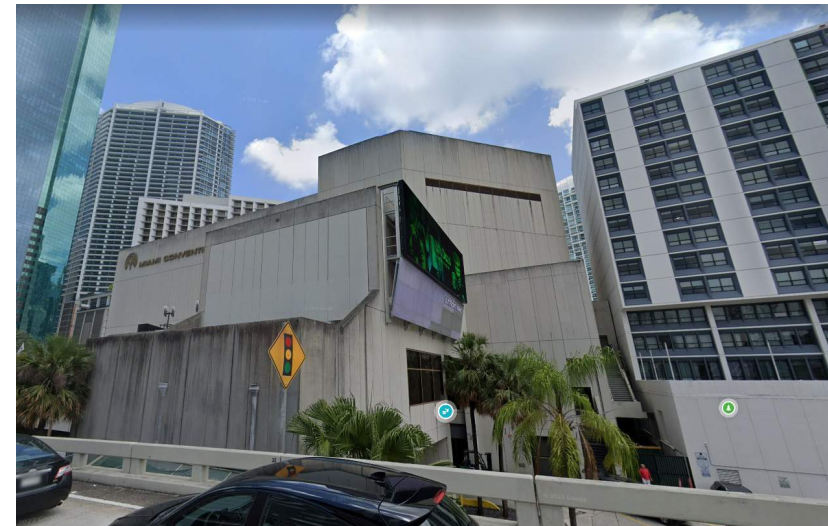




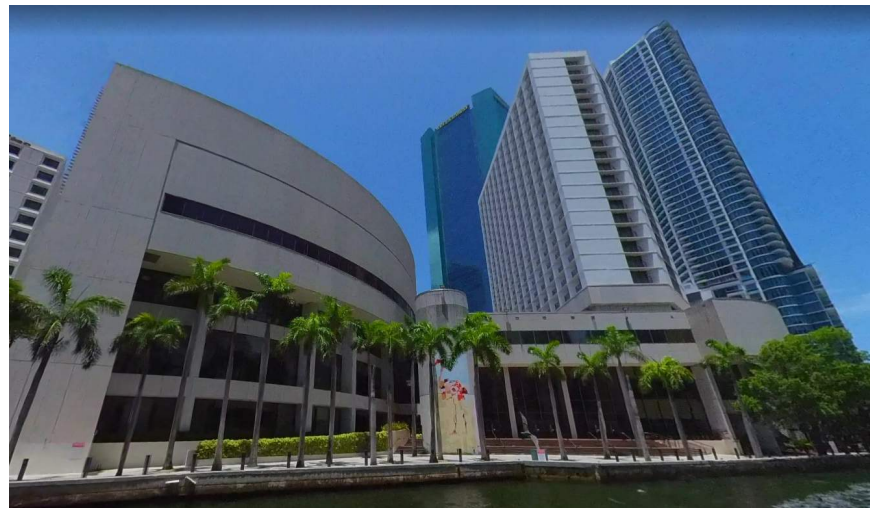
9. VIEW FROM NORTH WEST SE 4th ST



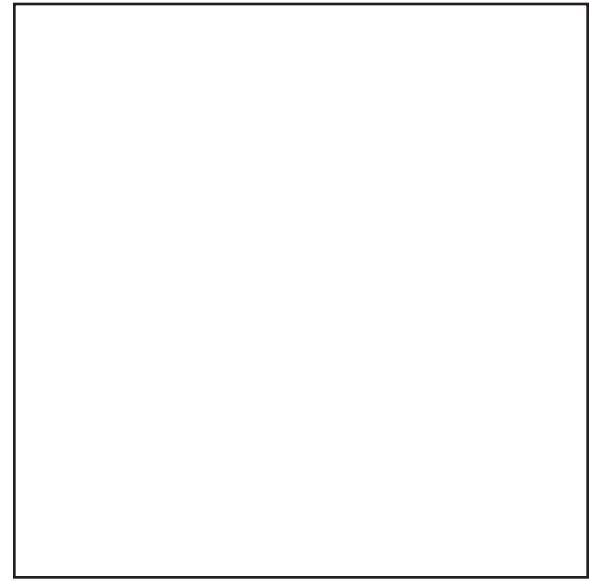
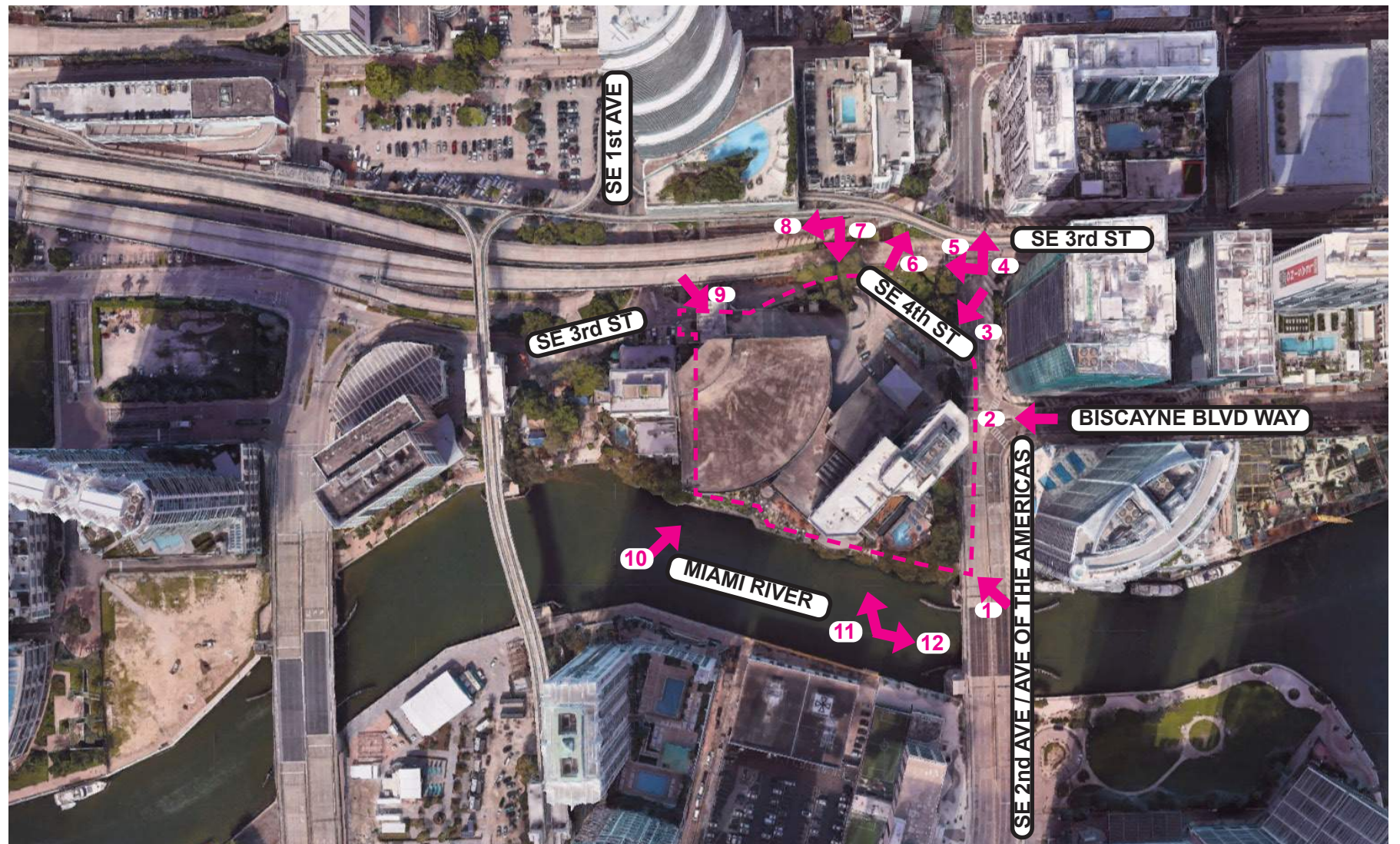
12. VIEW FROM SOUTH EAST MIAMI RIVER



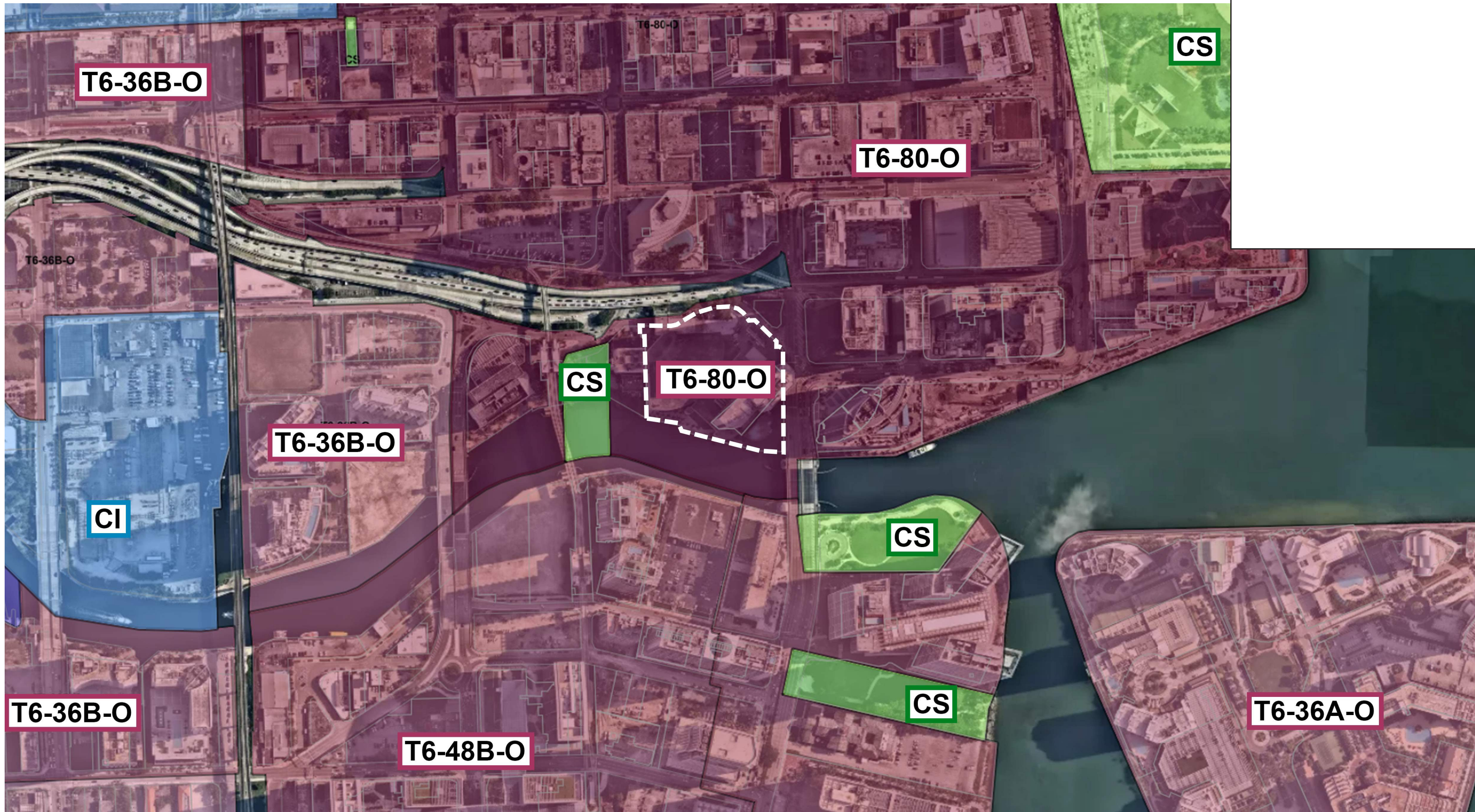
10. VIEW FROM I-95 EXIT RAMP



11. VIEW FROM SOUTHWEST MIAMI RIVER









LOT DISPOSITION		Required / Allowable		Proposed	
Lot Size:	5,000 sf min.	187,593 SF	4.307 ACRES	187,593 SF 4.307 ACRES	
Lot Width:	100 ft. min.			468'-3"	
Lot Coverage:	1 - 8 Stories	80% max	=	150,074 SF	
	Above 8th Story	18,000 SF max Resi/Lodging	=	126,986 SF 67.7%	
Floor Lot Ratio (FLR):	24 by Right	=		4,502,232 SF	
	50% additional Public Benefit	=		2,251,116 SF	
	Total Allowable FLR with Public Benefit	=		6,753,348 SF	
3,785,400 SF					
Frontage at front Setback:	70% min.			Miami River: 82% SE 2nd Ave: 90%	
Open Space:	10% Lot Area min.	=	18,759 SF	52,771 SF 28.1%	
Density:	1,000 du / acre	=	4,307 UNITS	1,914 TOTAL UNITS 1,342 MULTIFAMILY UNITS 264 APARTMENT-HOTEL UNITS 615 HOTEL KEYS (counted as .5) = 308	
<b>SETBACKS</b>					
Waterfront	50 ft min.			50'-0"	
View Side Yard Setback	25% = 97'-7"			10'-0" to 173'-3" (Resolution # R-23-0233)	
Principal Front	10 ft. min.; 20ft min. above 8th story			SE 2nd AVE: 56'-3" MIAMI RIVER: 50'-0"	
Secondary Front	10 ft. min.; 20ft min. above 8th story			SE 4th ST: 26'-7"	
Side	0 ft. min.; 30ft min. above 8th story			WEST SIDE: 33'-4"	
Rear	0 ft. min.; 30ft min. above 8th story			N/A	
<b>BUILDING HEIGHT</b>					
Minimum Height	2 Stories			87 Stories	
Maximum Height	80 Stories				
Max Benefit Height	unlimited Stories Abutting all Transect Zones except T3, or 1,049' as regulated by FAA				
<b>PARKING REQUIREMENTS</b>					
Residential	Within 1,000 ft of Metromover, 0 parking required		=	0 SPACES	
Lodging	1 space per 2 lodging units + 1 visitor per 15 units	= (615 / 2) + (615 / 15)	=	349 SPACES	
Commercial	3 spaces for every 1,000 SF	= (100,000 / 1000) x 3	=	231 SPACES	
		/ 1.3 Sharing Factor			
	TOTAL PARKING REQUIRED		=	580 SPACES	
<b>BICYCLE PARKING REQUIREMENTS</b>					
Residential	1 space required per dwelling unit	= 1,606 Dwelling Units	=	1,606 bicycle rack spaces	
Lodging	1 space required per 5 hotel units	= 615 Hotel Units	=	123 bicycle rack spaces	
Commercial	1 space required per every 3,000 SF of commercial	= 100,000 SF Commercial	=	33 bicycle rack spaces	
	TOTAL BICYCLE PARKING REQUIRED		=	1,762 bicycle rack spaces	
<b>LOADING REQUIREMENTS</b>					
Residential	1 large berth per first 100 units	=	first 100 UNITS	=	1 large berth
	1 small berth per each additional 100 units	=	remaining 1,506 UNITS	=	16 small berths
Lodging	1 medium berth per 300 rooms	=	first 300 ROOMS	=	1 medium berth
	1 small berth per 100 rooms	=	remaining 315 ROOMS	=	4 small berths
Commercial	1st medium berth per first 25K - 50K SF	=	first 50,000 SF	=	1 medium berth
	2nd medium berth per first 50K - 100K SF	=	remaining 50,000 SF	=	1 medium berth
	TOTAL LOADING BERTHS REQUIRED		=	1 large berth	
	1 medium berth may be substituted by 2 small berths.			+	3 medium berths
	1 large berth may be substituted by 2 medium berths.			+	20 small berths
					20 small berths
<b>PUBLIC BENEFIT</b>					
Floor Lot Ratio (FLR):	24 by Right	=	4,502,232 SF	0 FLR benefit proposed	
	50% additional Public Benefit	=	2,251,116 SF		
Maximum Height	80 Stories			87 Stories	
Max Benefit Height	unlimited Stories Abutting all Transect Zones except T3, or 1,049' as regulated by FAA			Levels 81 - 87 = 106,750 SF	

**ZONING DISTRICT**

Municipality: City of Miami, FL  
Zoning District: T6-80-O  
Zoning Classification: Urban Core Zone  
Folio Numbers: 0131370220020  
0131370220010  
Property Address: 400 SE 2nd Avenue  
FEMA Zone: AE 9  
Gross Lot Area: 4.307 ACRES







SE 3RD STREET

SE 4TH STREET

I-95 EXIT RAMP

SE 4TH STREET

TOWER 2  
RESIDENTIAL

POOL DECK / TOP  
OF PODIUM BELOW

TOWER 1  
HOSPITALITY

SKYBRIDGE  
COMMERCIAL

TOWER 3  
RESIDENTIAL

BISCAYNE BOULEVARD

SE 2ND AVE / AVE OF THE AMERICAS





# LOT COVERAGE DIAGRAM

## ALLOWABLE:

80% OF 187,593 SF =  
150,074 SF MAXIMUM

= 126,986 SF

67.7% LOT COVERAGE

ALLOWABLE:	150,074 SF
PROPOSED:	126,986 SF

# OPEN SPACE

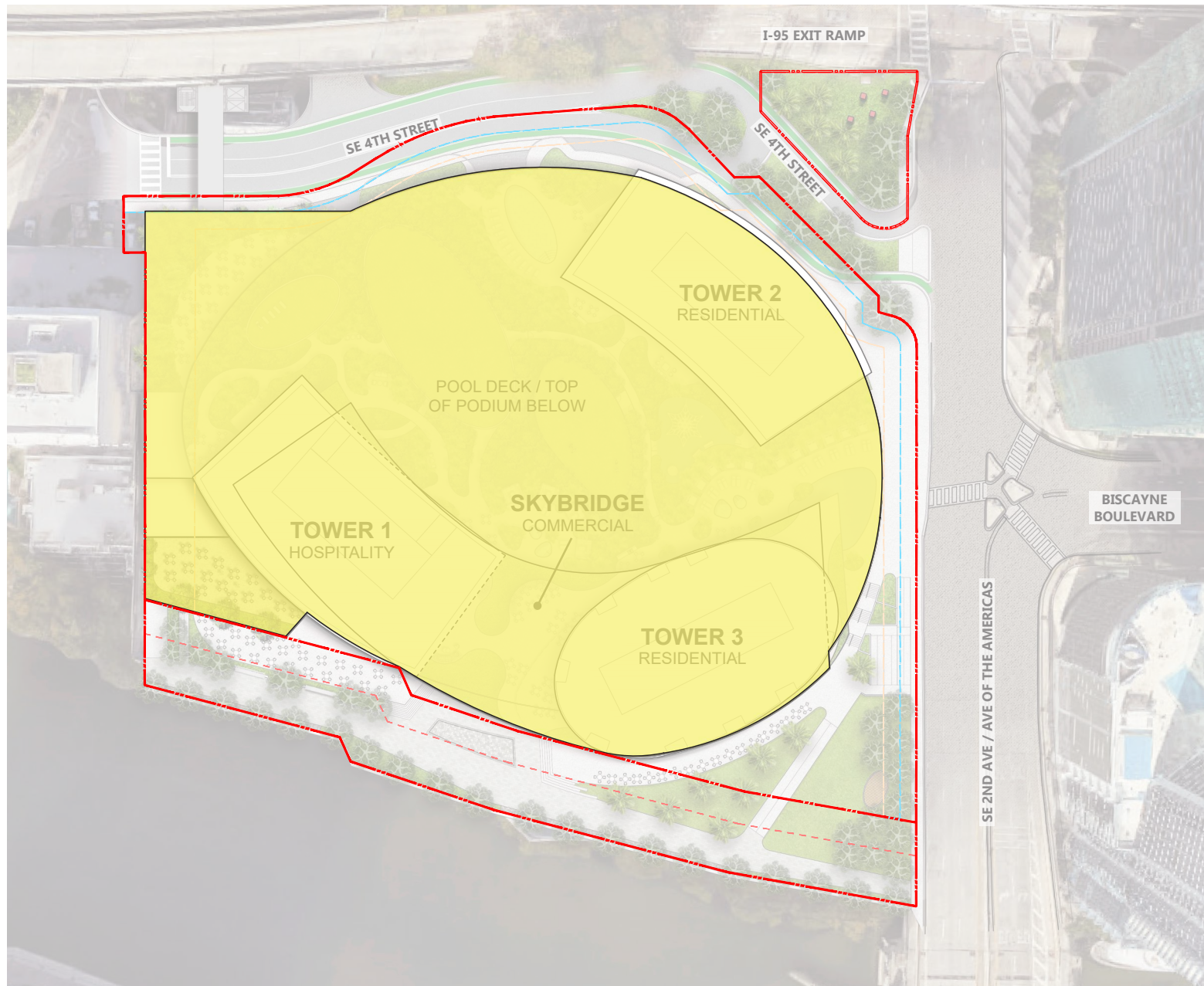
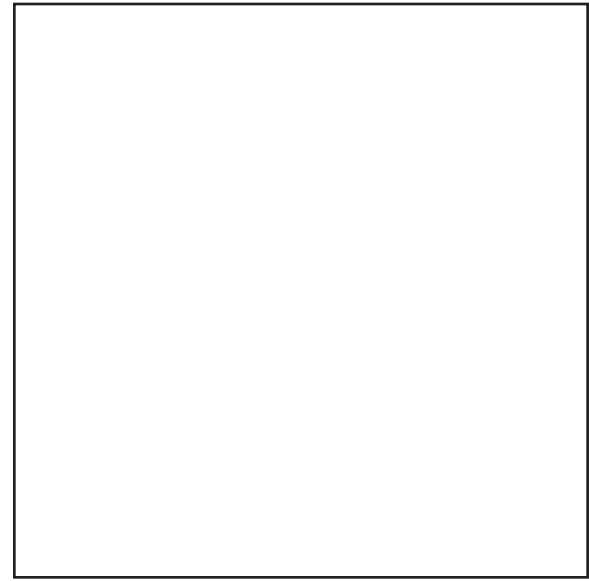
## ALLOWABLE:

10% OF 187,593 SF =  
18,759 SF MINIMUM

= 52,771 SF

28.1% OPEN SPACE

REQUIRED:	18,759 SF
PROPOSED:	52,771 SF





## VIEW SIDE YARD SETBACK

AVERAGE LOT WIDTH: 390'-11"  
 25% VIEW SIDE YARD SETBACK: 97'-7"  
**PROPOSED: 10'-0" - 173'-3"**

**Charter Provision:** Sec. 3mm(B) which do not have average side yards equal in aggregate to at least 25 percent of the water frontage of each lot based on average lot width.

**Applied:** Average Lot Width including the water frontage and the narrowest street frontage to determine the Average Lot Width for side yard compliance.

**APPROVED RESOLUTION NUMBER: R-23-0233**

## TOWERS

ALLOWABLE:

MAXIMUM FLOORPLATE: 18,000 SF  
 MINIMUM DISTANCE: 60FT

TOWER 1: 16,810 SF

TOWER 2: 13,280 SF

TOWER 3: 15,220 SF





# FRONTAGES

MIAMI RIVER: PRIMARY FRONTAGE

MINIMUM: 70% FRONTAGE

TOTAL FRONTAGE LENGTH: 467'-11"

383'-6" = 82% FRONTAGE

# FRONTAGES

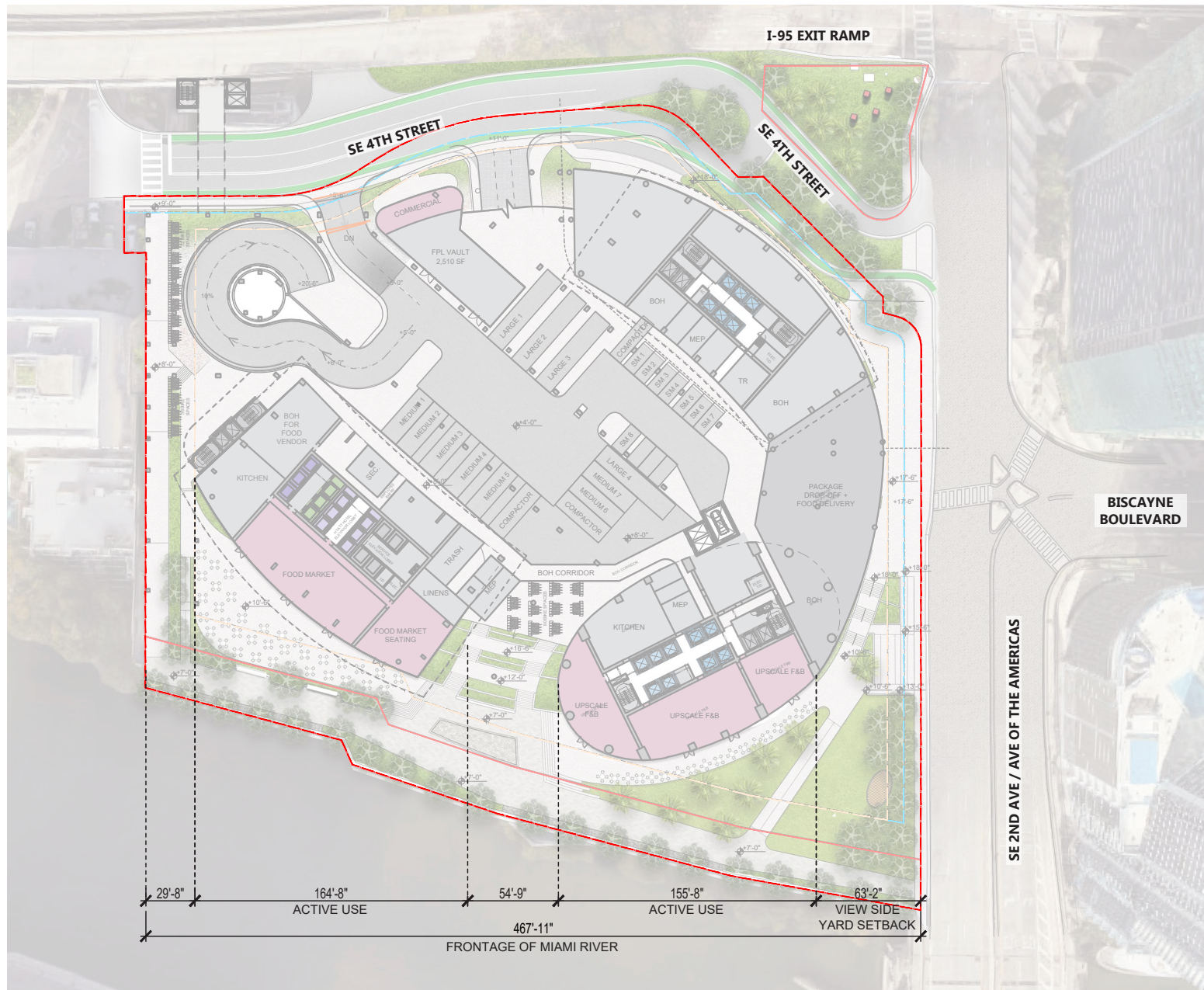
SE 2ND AVE / AVE OF THE AMERICAS: PRIMARY FRONTAGE

MINIMUM: 70% FRONTAGE

TOTAL FRONTAGE LENGTH: 352'-4"

318'-2" = 90% FRONTAGE

APPROVED SPECIAL APPEARANCE WATERFRONT SETBACK  
RESOLUTION NUMBER: R-23-0233





## PEDESTRIAN CIRCULATION + PUBLIC TRANSIT

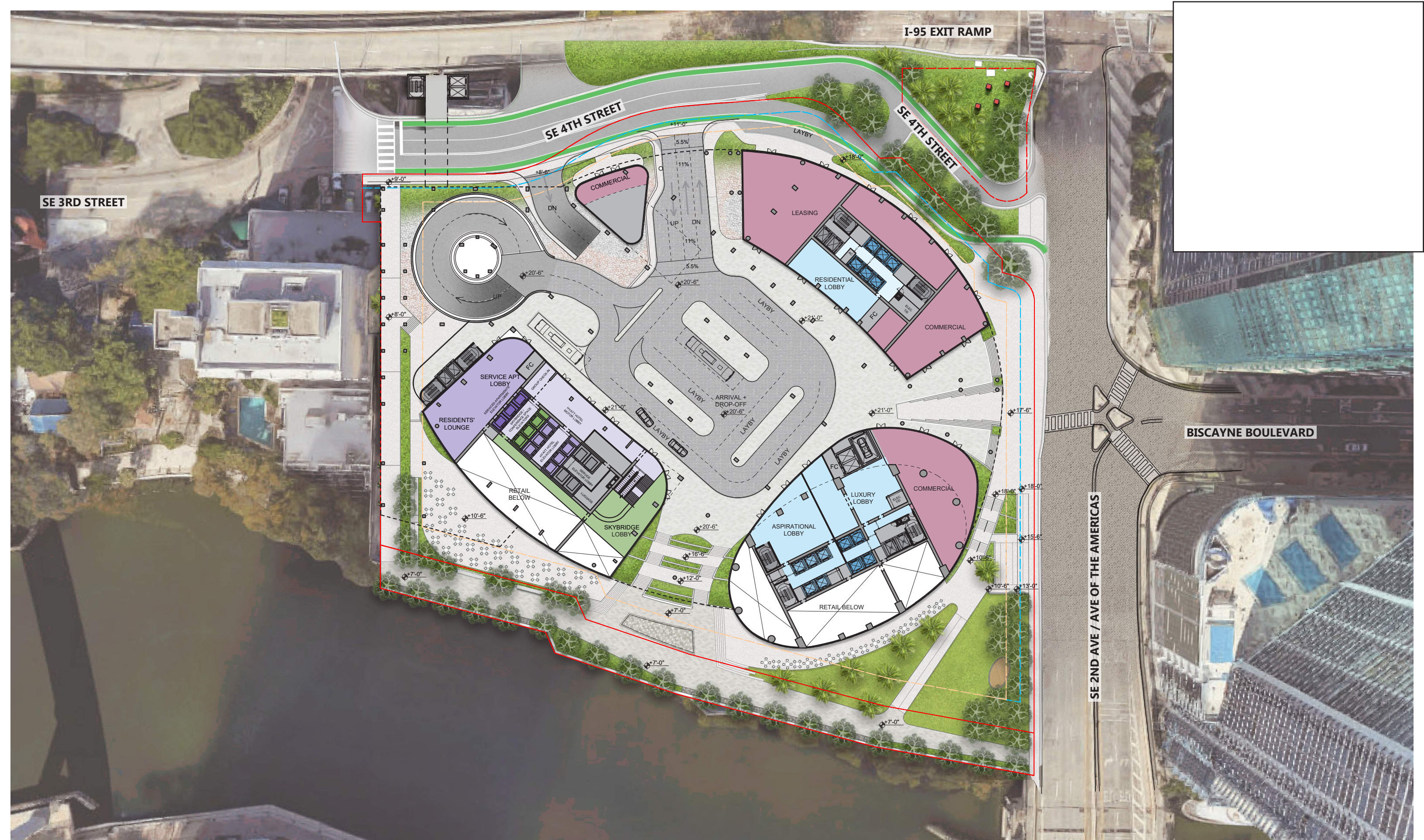
## BICYCLE CIRCULATION



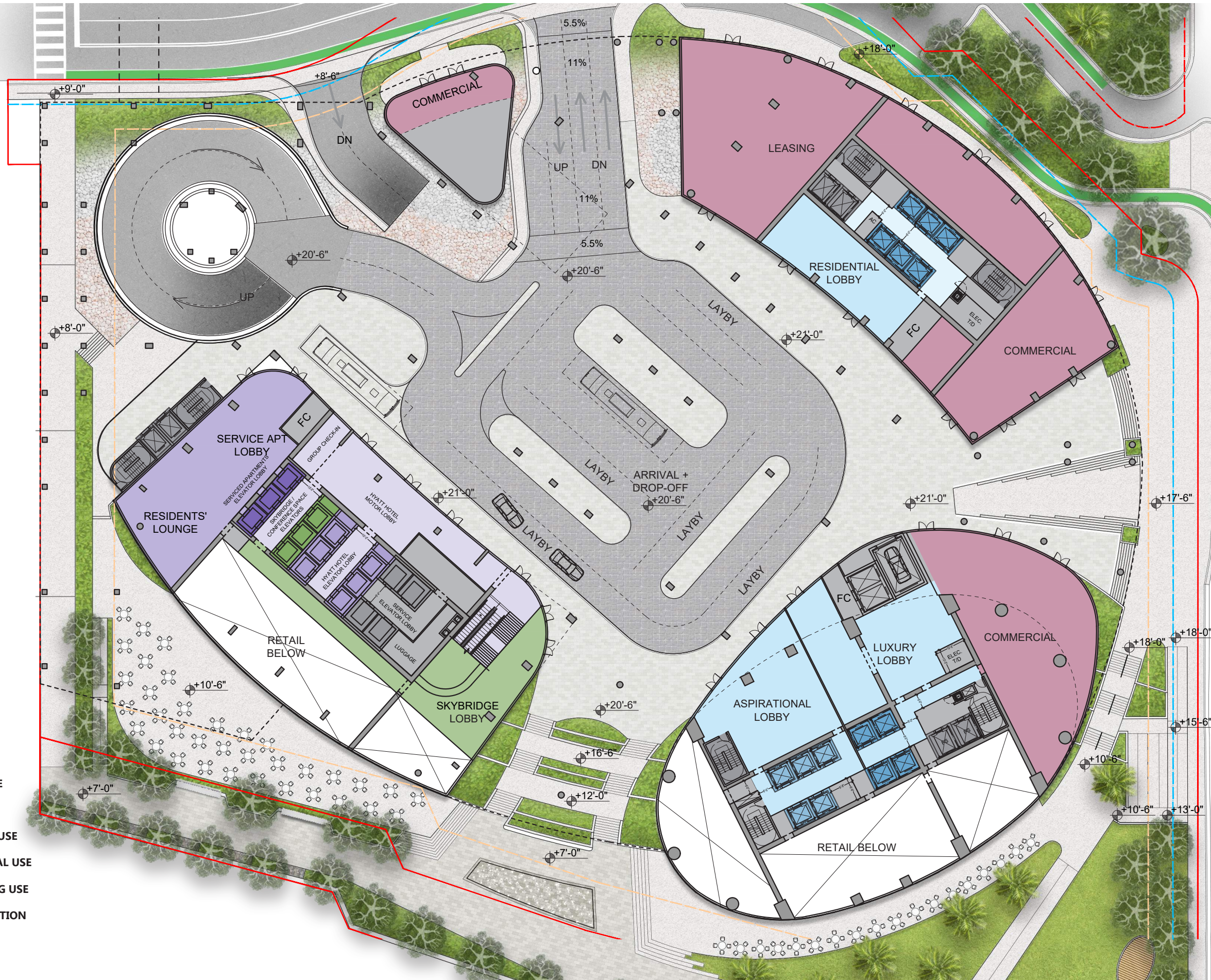








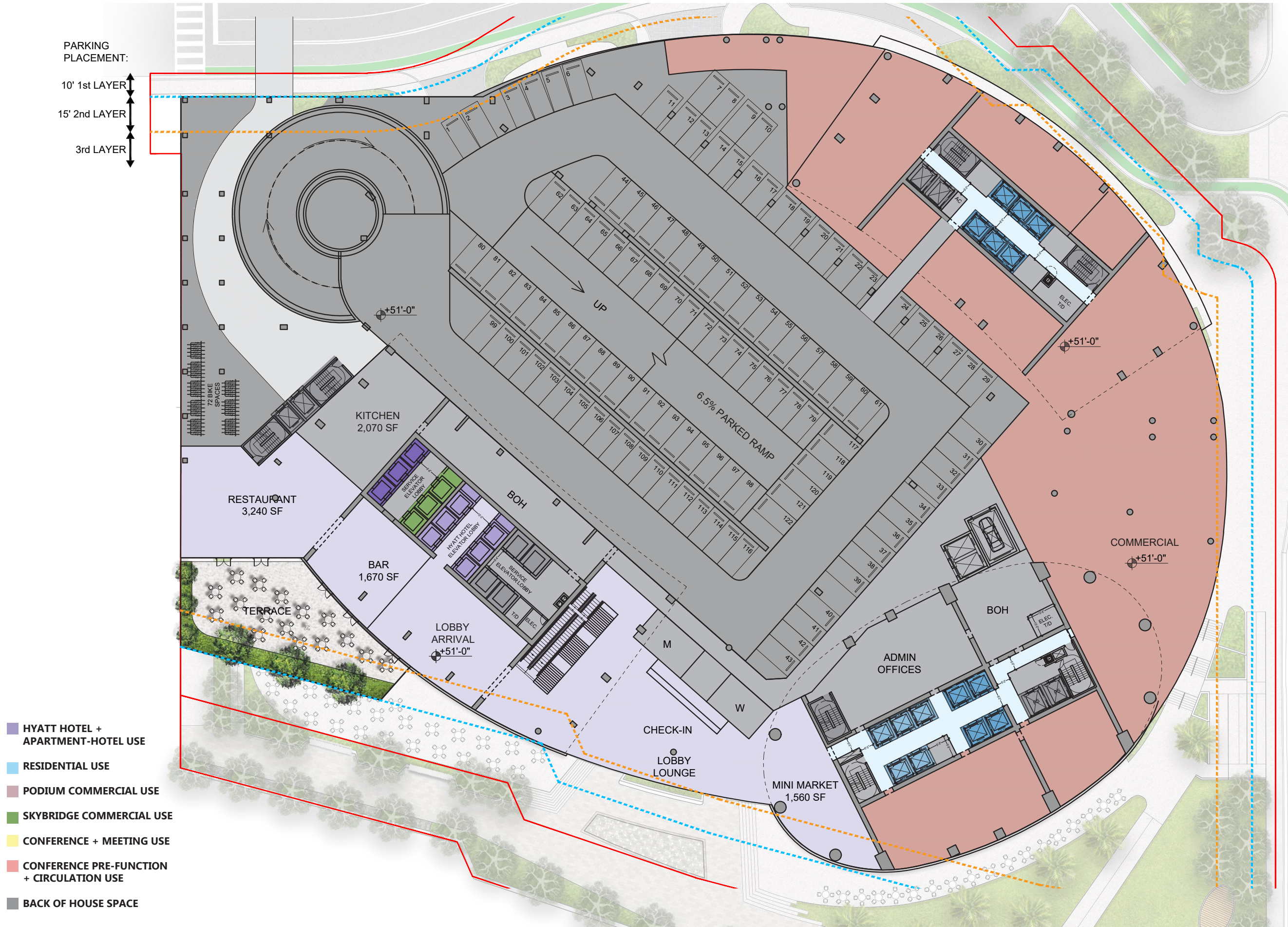




- HYATT HOTEL + APARTMENT-HOTEL USE
- RESIDENTIAL USE
- PODIUM COMMERCIAL USE
- SKYBRIDGE COMMERCIAL USE
- CONFERENCE + MEETING USE
- CONFERENCE PRE-FUNCTION + CIRCULATION USE
- BACK OF HOUSE SPACE

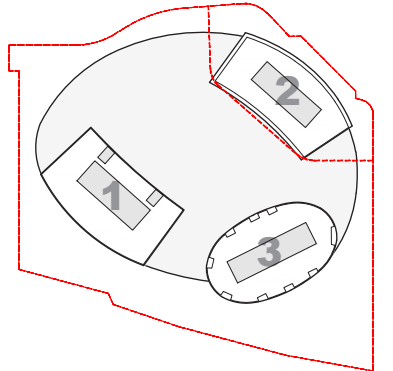
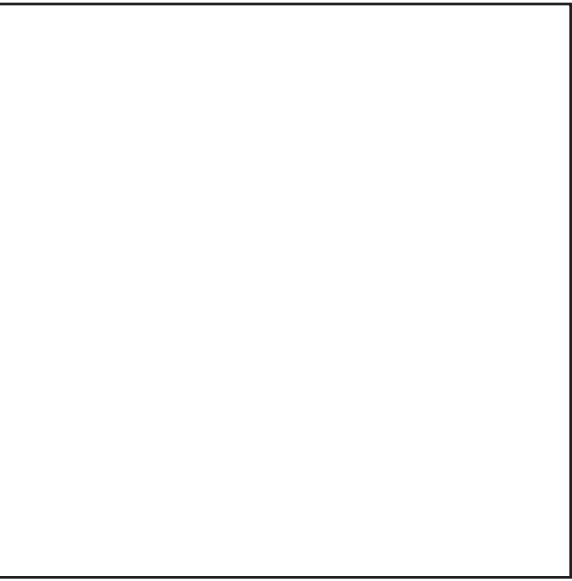
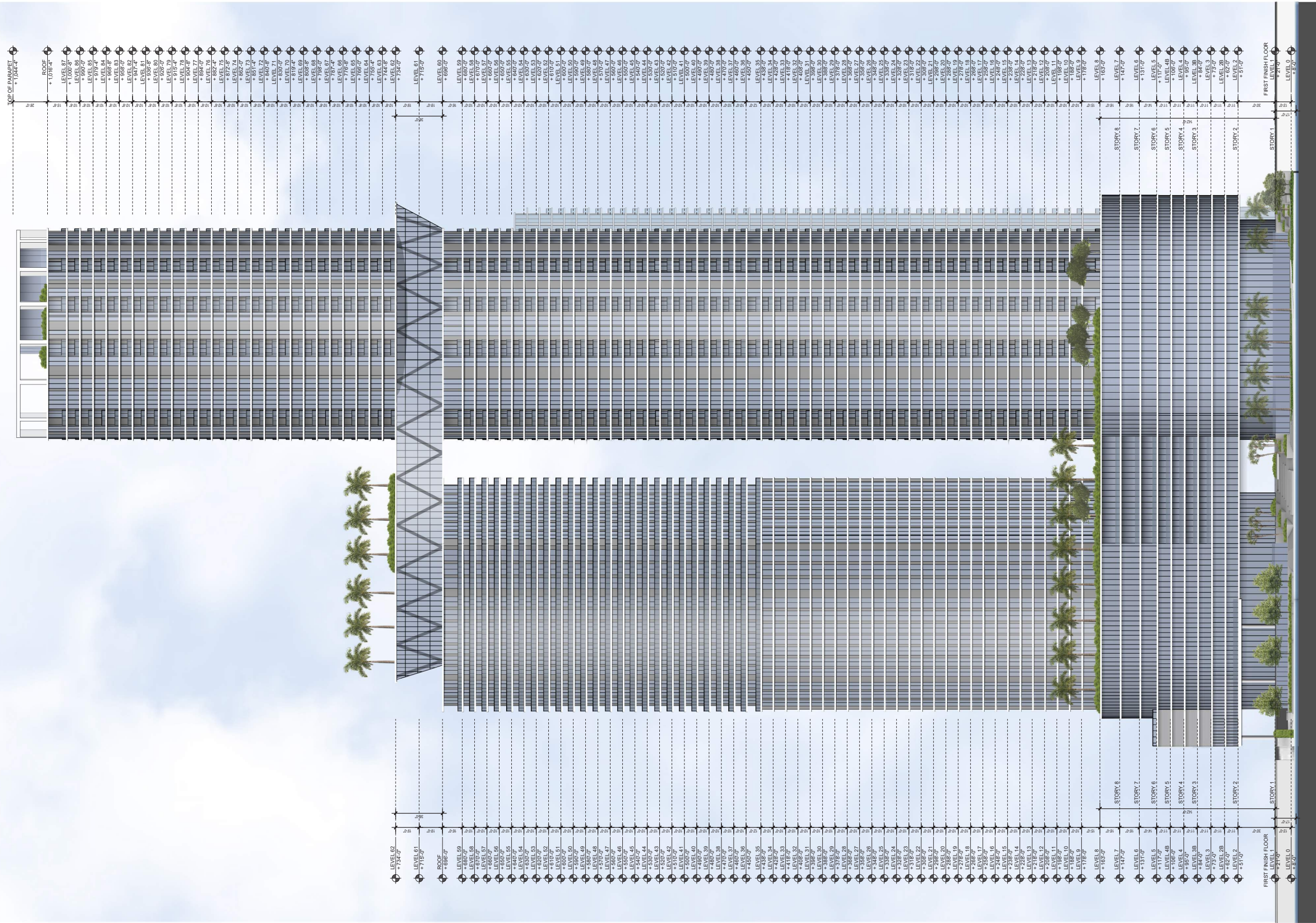


PARKING PLACEMENT:  
 10' 1st LAYER  
 15' 2nd LAYER  
 3rd LAYER

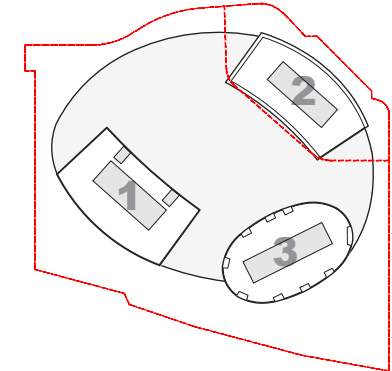
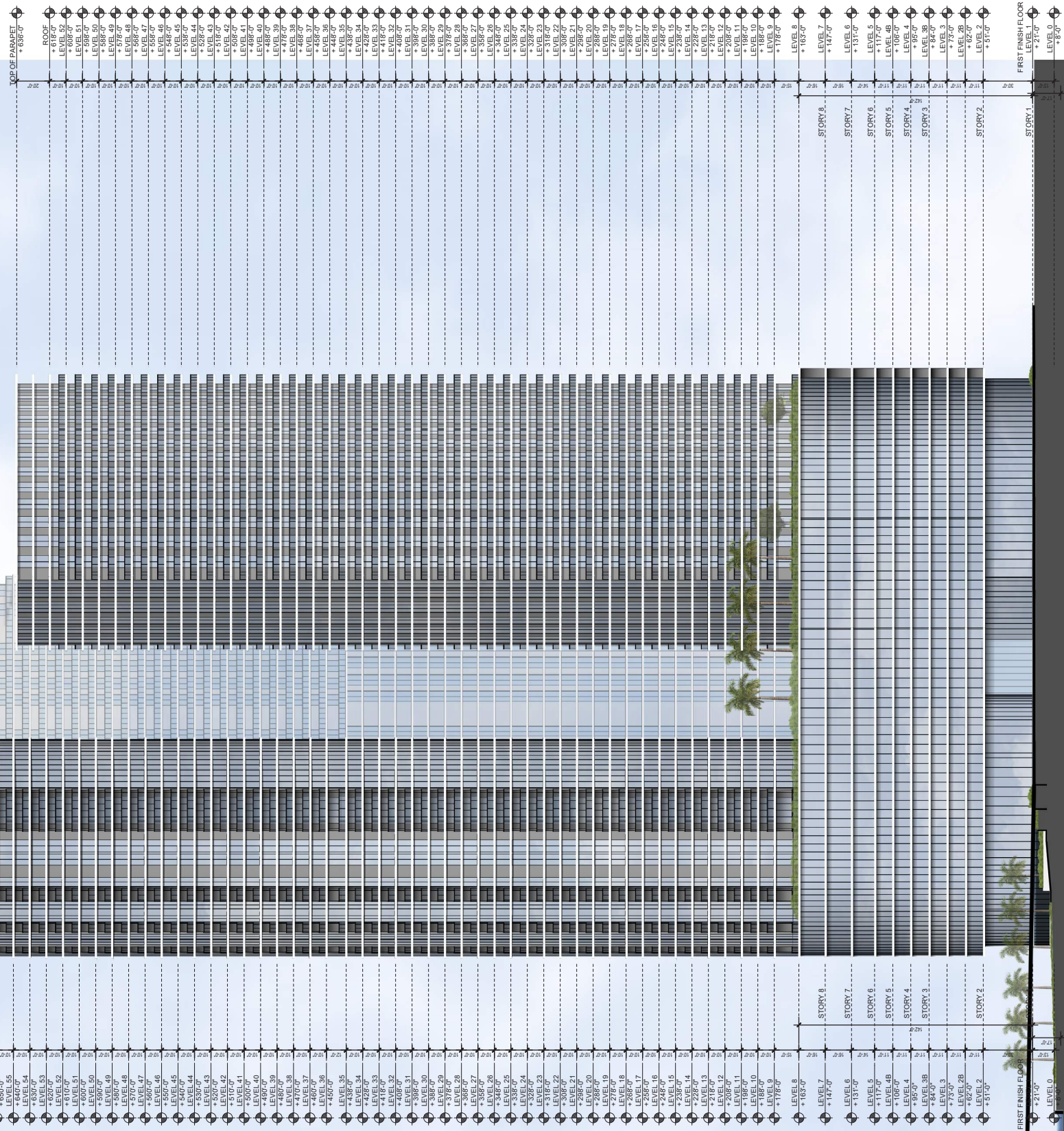


- HYATT HOTEL + APARTMENT-HOTEL USE
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- BACK OF HOUSE SPACE

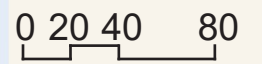




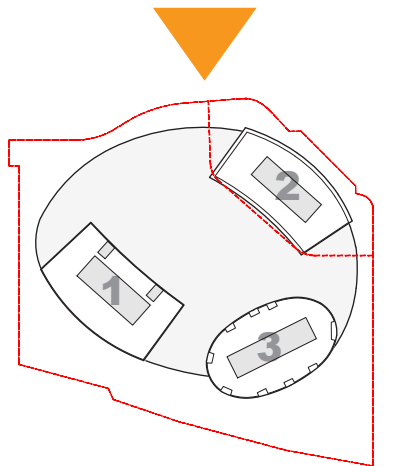
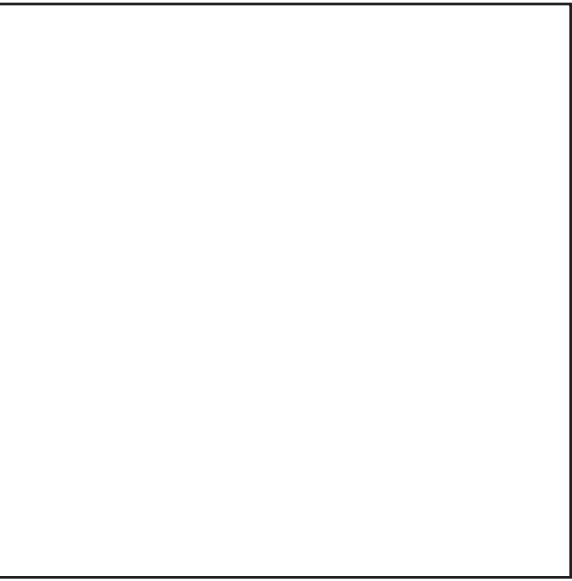
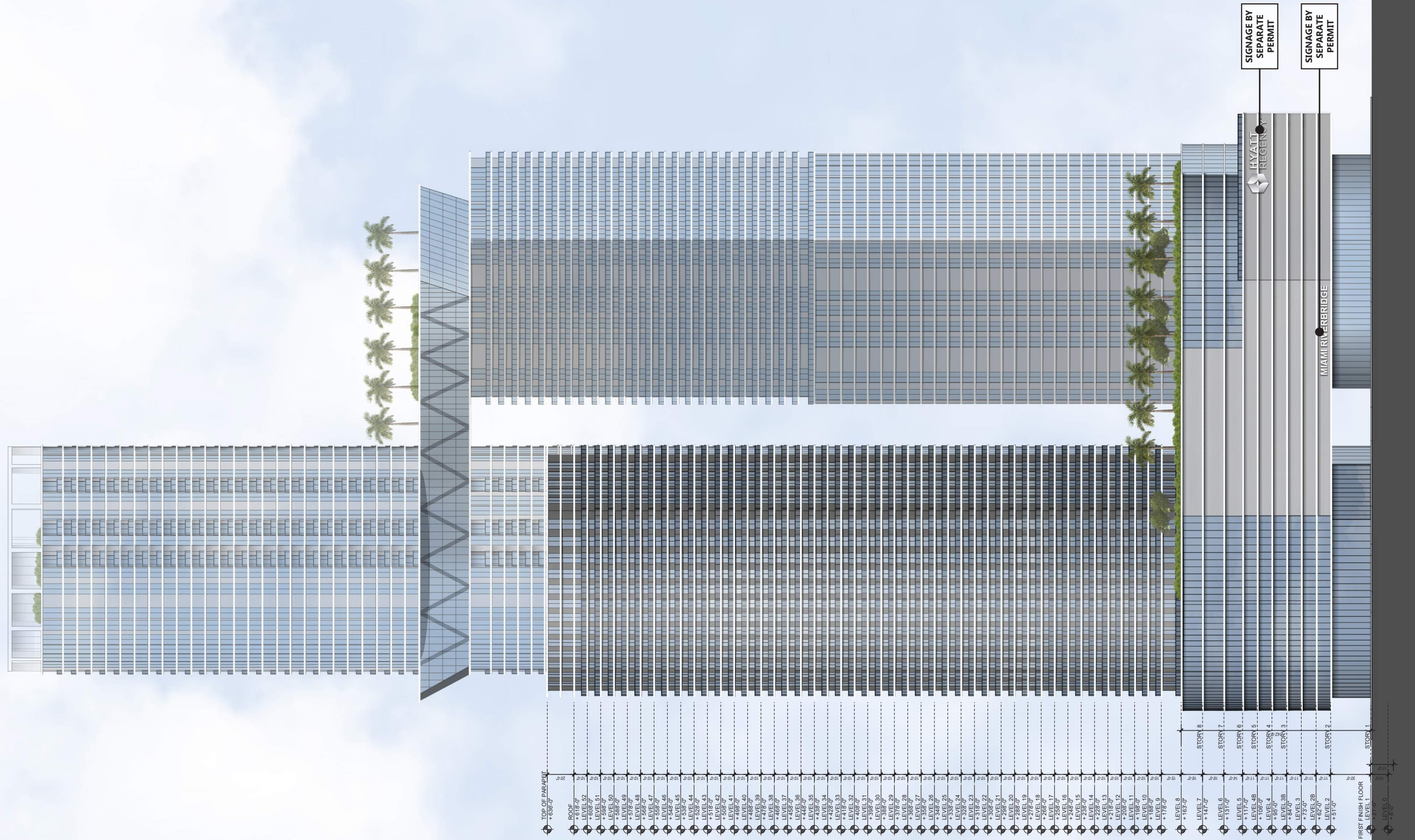




## EAST ELEVATION







# MIAMI RIVERBRIDGE

**ARQUITECTONICA** FEBRUARY 16, 2024

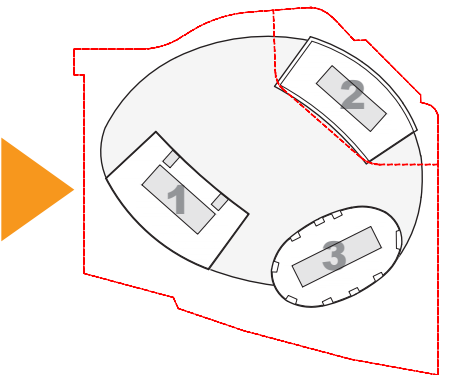
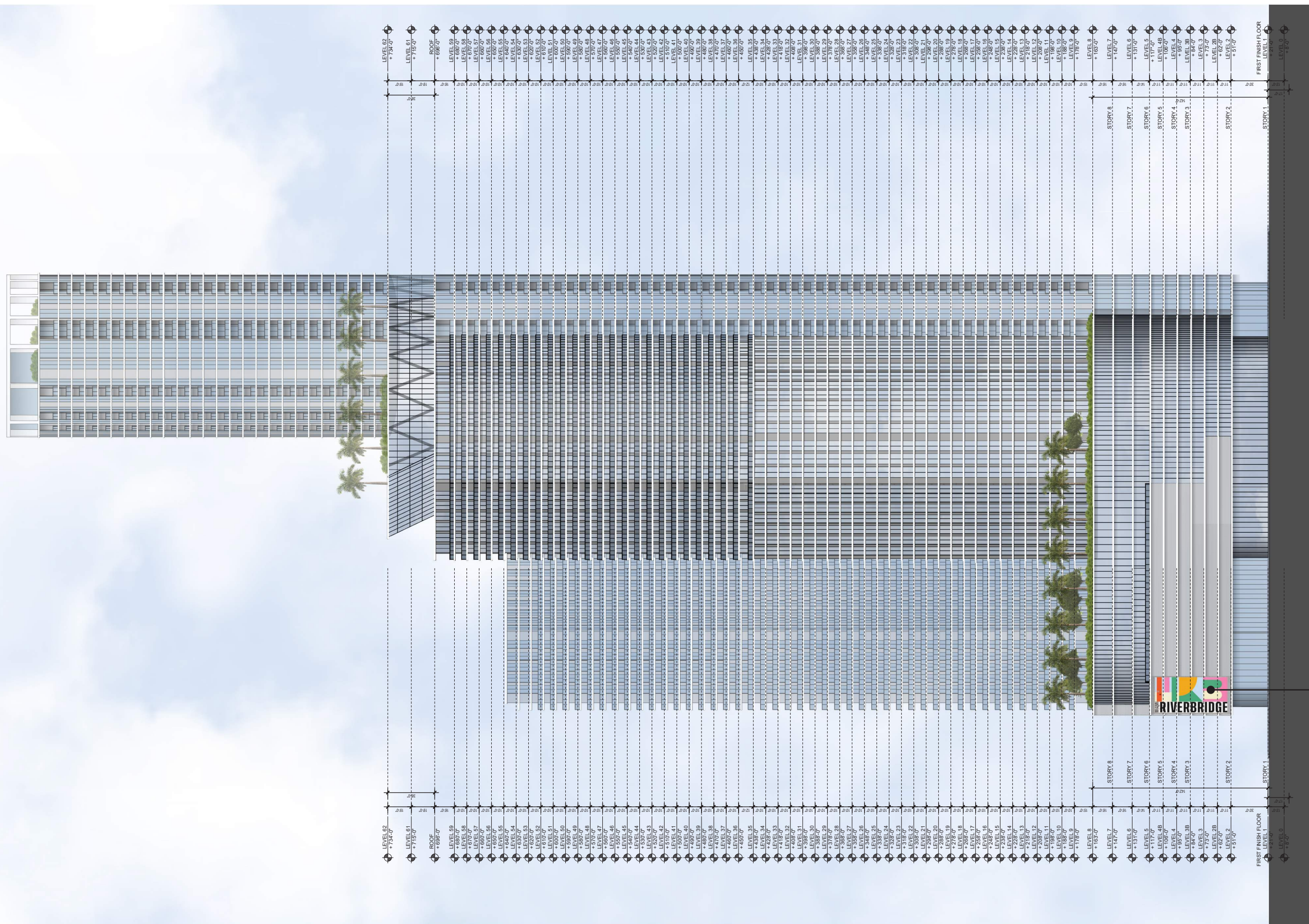
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## NORTH ELEVATION



0 20 40 80





SIGNAGE BY SEPARATE PERMIT







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RENDERING





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## RENDERINGS





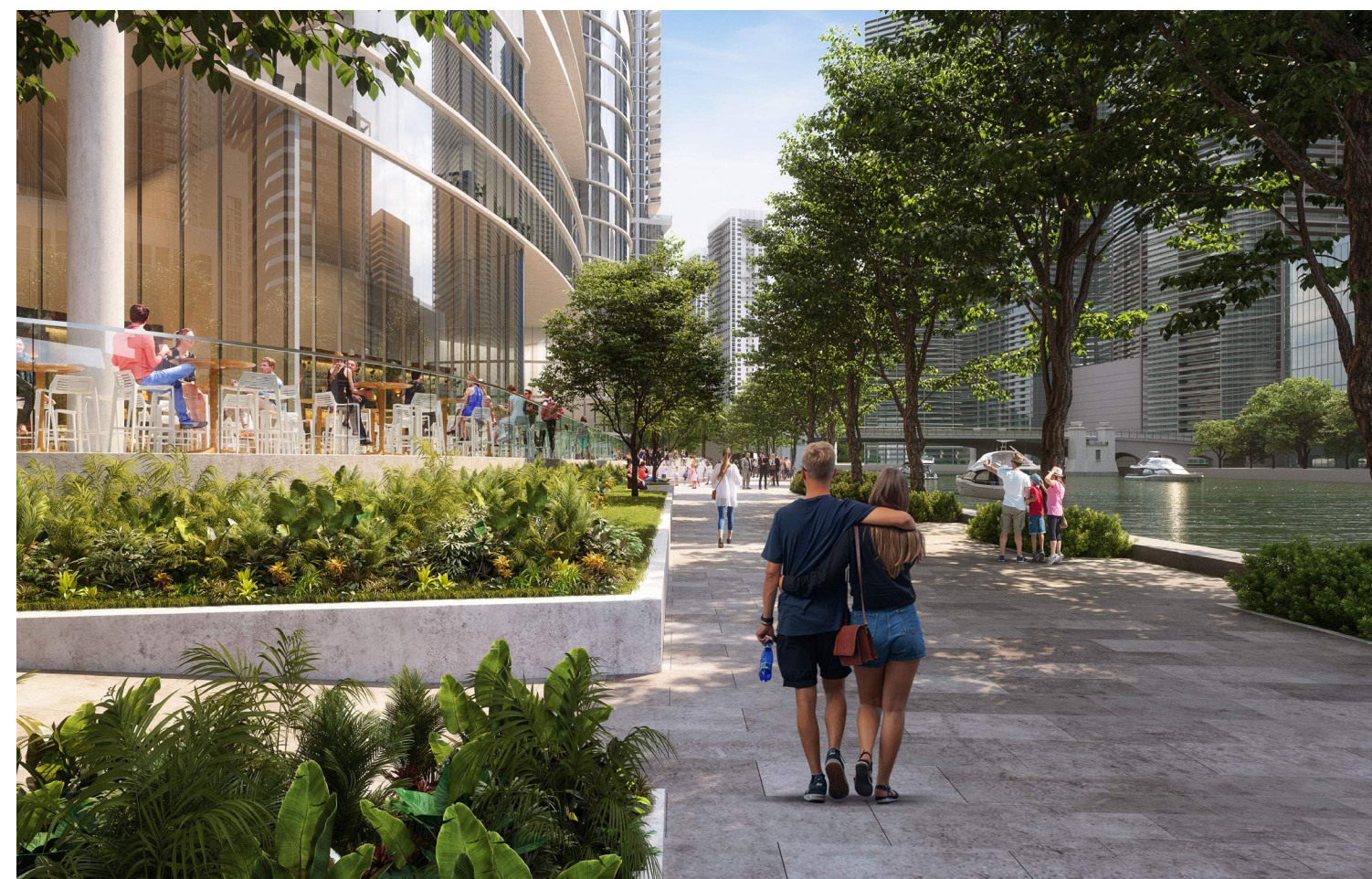
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## RENDERINGS









SE 3RD STREET

SE 4TH STREET

I-95 EXIT RAMP

SE 4TH STREET

FUTURE PHASE 2

POOL DECK / TOP OF PODIUM BELOW

TOWER 1 HOSPITALITY

SKYBRIDGE COMMERCIAL

TOWER 3 RESIDENTIAL

BISCAYNE BOULEVARD

SE 2ND AVE / AVE OF THE AMERICAS







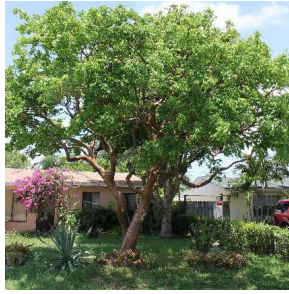
PHASE 1



FULL BUILD OUT



**PALMS & TREES**



*BURSERA SIMARUBA*  
GUMBO LIMBO



*COCCOLOBA UVIFERA*  
SEA GRAPE



*CONOCARPUS ERECTUS*  
GREEN BUTTONWOOD



*EUGENIA FOETIDA*  
SPANISH STOPPER



*MYRCIANTHES FRAGANS*  
SIMPSON'S STOPPER



*PIMENTA DIOICA*  
ALLSPICE TREE



*SWIETENIA MAHAGONI*  
WEST INDIAN MAHOGANY



*GUAIAACUM SANCTUM*  
LIGNUM VITAE



*ARCHONTOPHOENIX ALEXANDRAE*  
ALEXANDER PALM



*ROYSTONEA REGIA*  
ROYAL PALM



*THRINAX RADIATA*  
FLORIDA THATCH PALM

**SHRUBS & GROUNDCOVERS**



*PSYCHOTRIA BAHAMENSIS*  
BAHAMA WILD COFFEE



*BORRICHIA FRUTESCENS*  
SEA OXEYE



*LYCIUM CAROLINIANUM*  
CHRISTMAS BERRY



*DODONEA VISCOSA*  
HOP BUSH



*CAPPARIS CYNOPHALLOPHORA*  
JAMAICAN CAPER



*HYMENOCALLIS LATIFOLIA*  
SPIDER LILY



*MONSTERA DELICIOSA*  
SPLIT-LEAF PHILODENDRON



*EMODEA LITTORALIS*  
GOLDEN CREEPER



*FLAVERIA LINEARIS*  
NARROWLEAF YELLOWTOPS



*HELIANTHUS DEBILIS*  
DUNE SUNFLOWER



*MUHLENBERGIA SERICES*  
DUNE HAIRGRASS



*SPARTINA BAKERI*  
SAND CORDGRASS



*STACHYTARPHETA JAMAICENSIS*  
BLUE POTERWEED

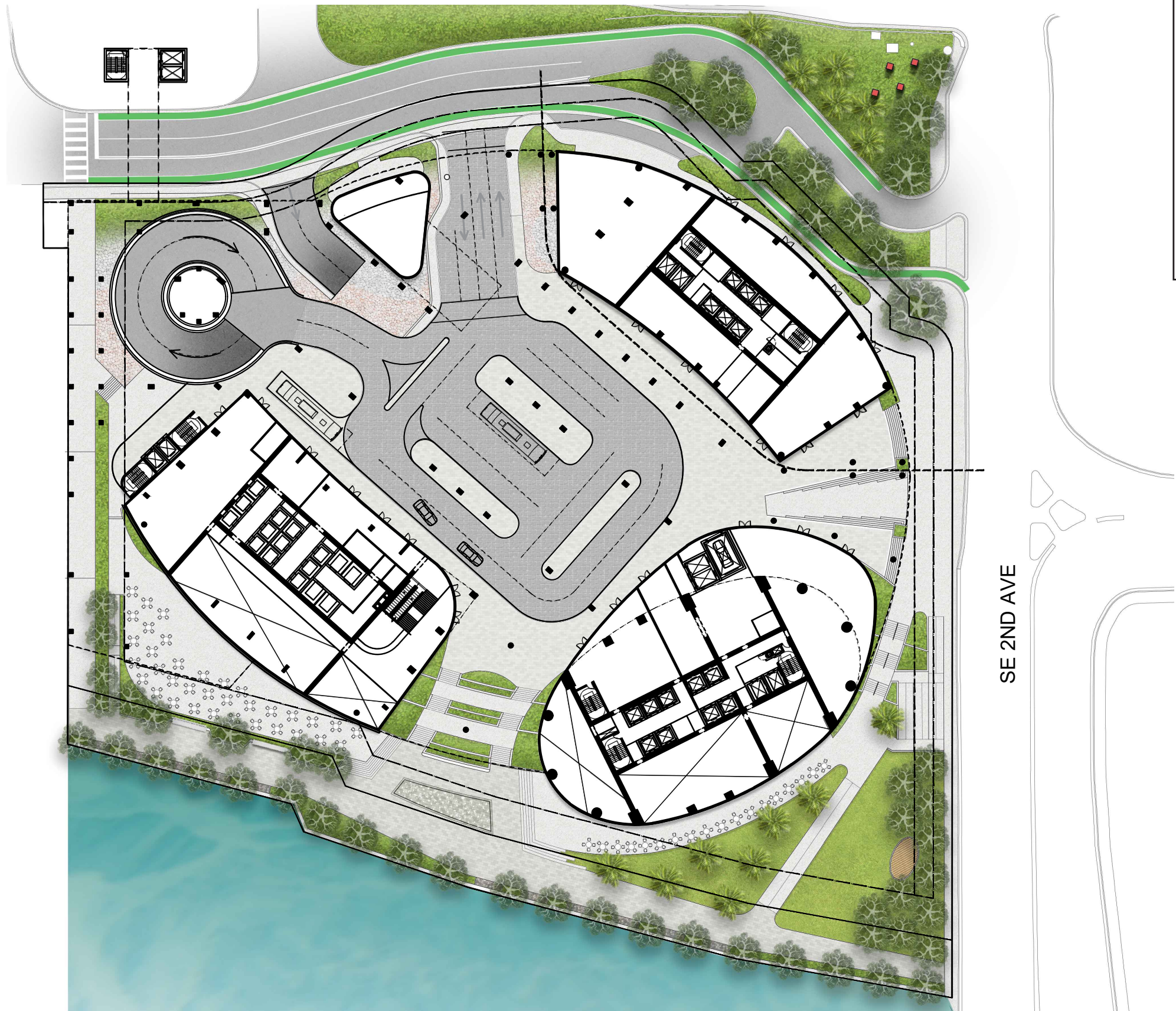


*TRIPSACUM FLORIDANA*  
FAKAHATCHEE GRASS



*CLUSIA "NANA"*  
DWARF CLUSIA



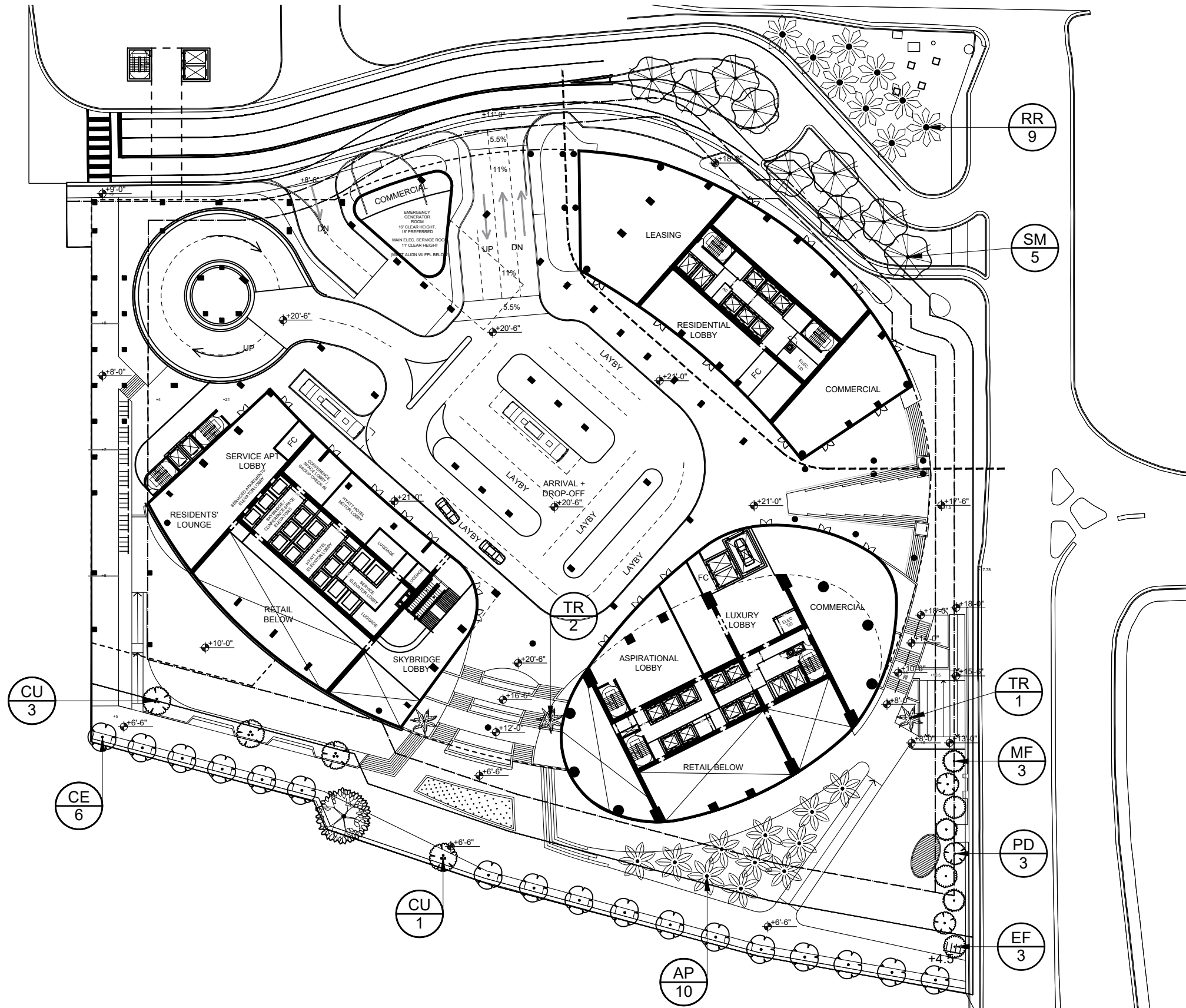






REFER TO L603 FOR HARDSCAPE SCHEDULE





REFER TO L601 FOR TREE SCHEDULE



GROUNDCOVERS (245 sf)  
 Ernodea littoralis  
 Flaveria linearis  
 Helianthus debilis  
 Muhlenbergia sericea  
 Spartina bakeri  
 Stachytarpheta jamaicensis  
 Tripsacum floridana  
 clusia 'nana'

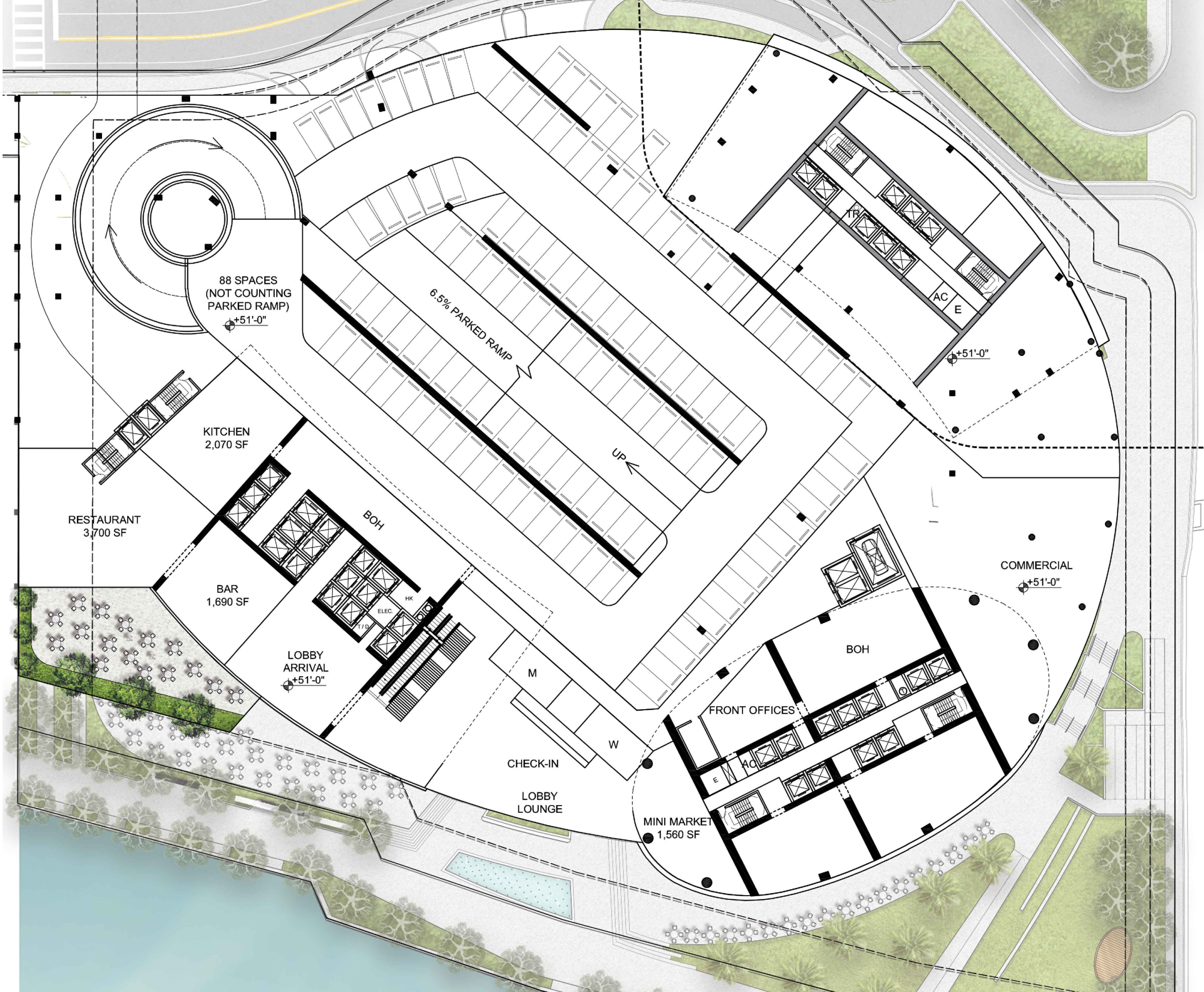
SHRUBS (306 sf)  
 (43 sf) Psychotria bahamensis  
 (43 sf) Borrchia frutescens  
 (43 sf) Lycium carolinianum  
 (43 sf) Dodonaea viscosa  
 (43 sf) Capparis cynophallophora  
 (46 sf) Hymenocallis latifolia  
 (46 sf) Monstera deliciosa

GROUNDCOVERS (40 sf)  
 Stachytarpheta jamaicensis  
 Muhlenbergia sericea  
 Helianthus debilis  
 clusia 'nana'  
 Tripsacum floridana  
 Ernodea littoralis  
 Flaveria linearis  
 Spartina bakeri

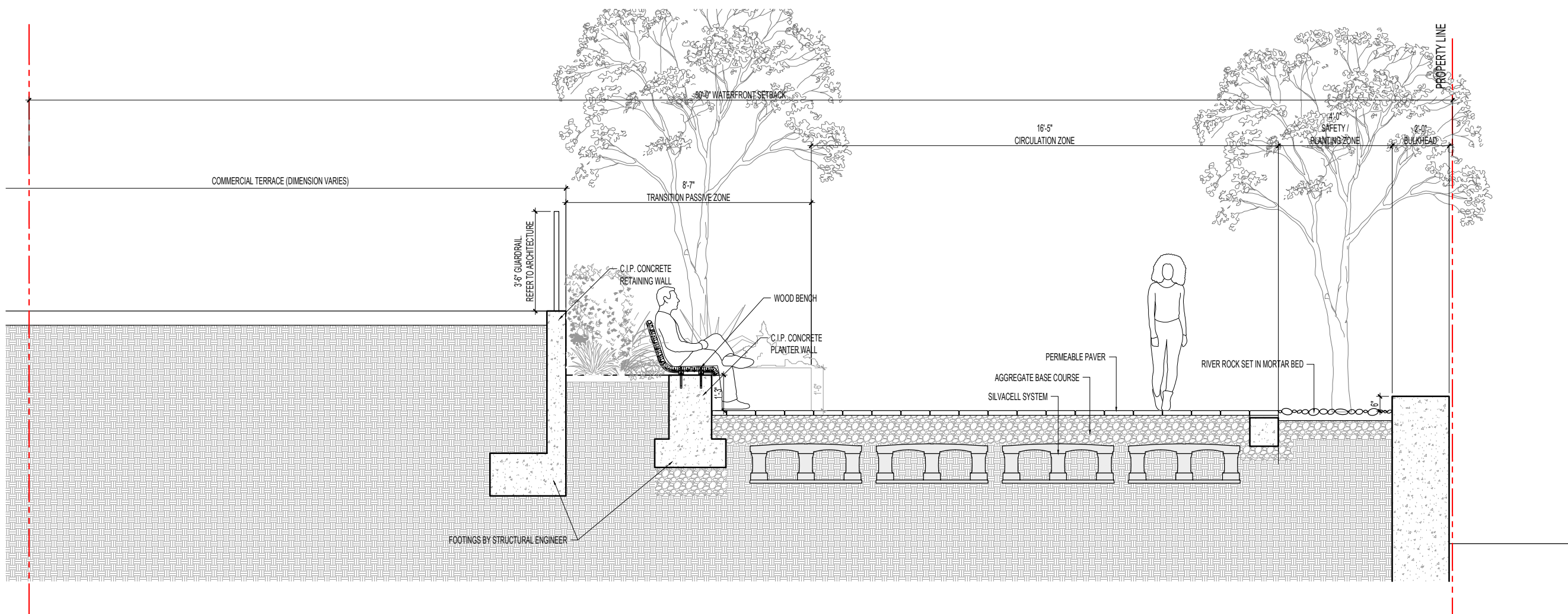
SHRUBS (198 sf)  
 (28 sf) Psychotria bahamensis  
 (28 sf) Borrchia frutescens  
 (28 sf) Lycium carolinianum  
 (28 sf) Dodonaea viscosa  
 (28 sf) Capparis cynophallophora  
 (30 sf) Hymenocallis latifolia  
 (30 sf) Monstera deliciosa

REFER TO L601 FOR SHRUBS AND GROUNDCOVERS SCHEDULE

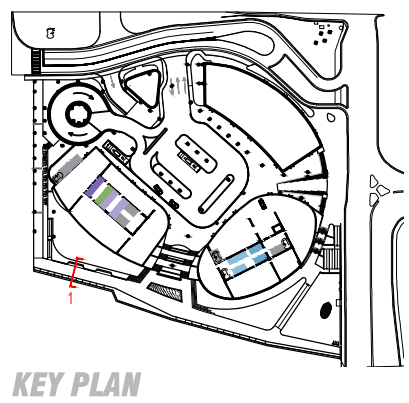




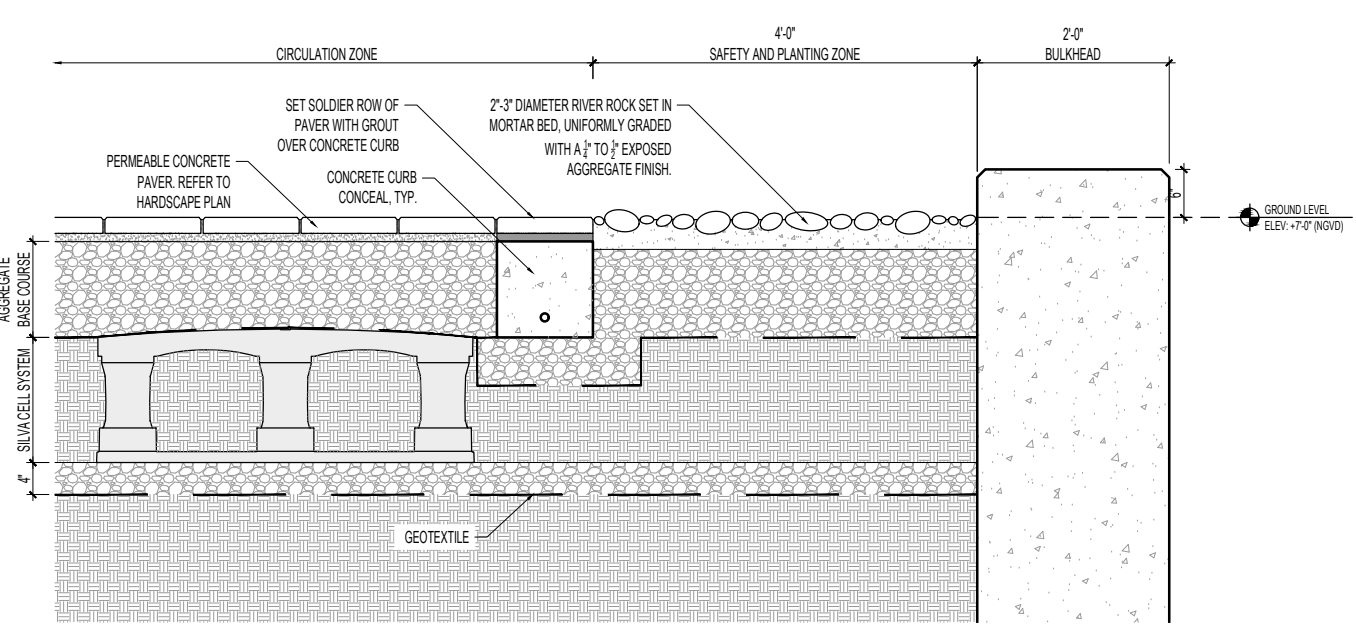




① RIVERWALK SECTION  
SCALE: 1/4" = 1'-0"

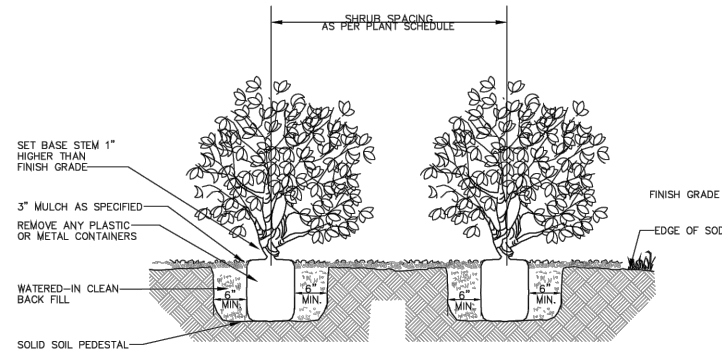


KEY PLAN

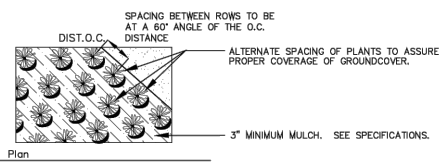


② RIVER EDGE DETAIL  
SCALE: 1/2" = 1'-0"

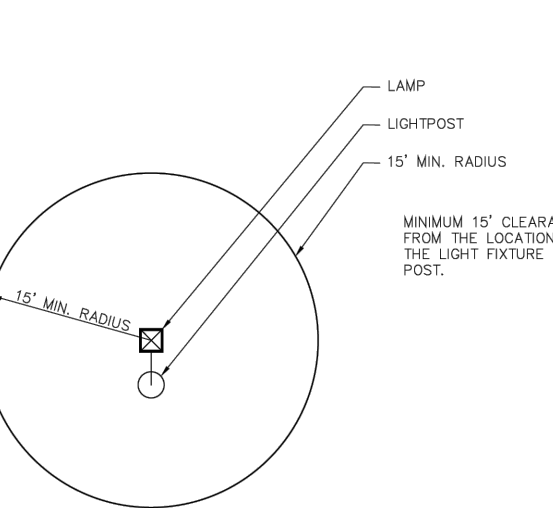




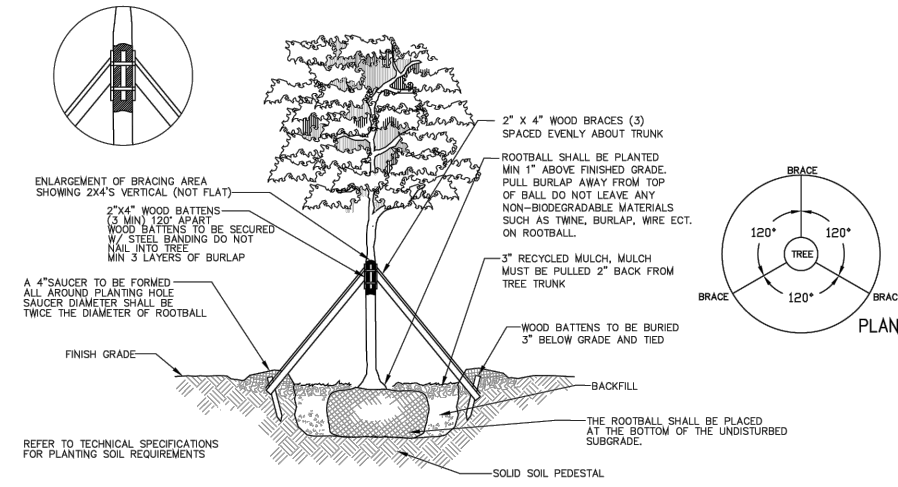
**5 SHRUB PLANTING**  
SCALE: NTS



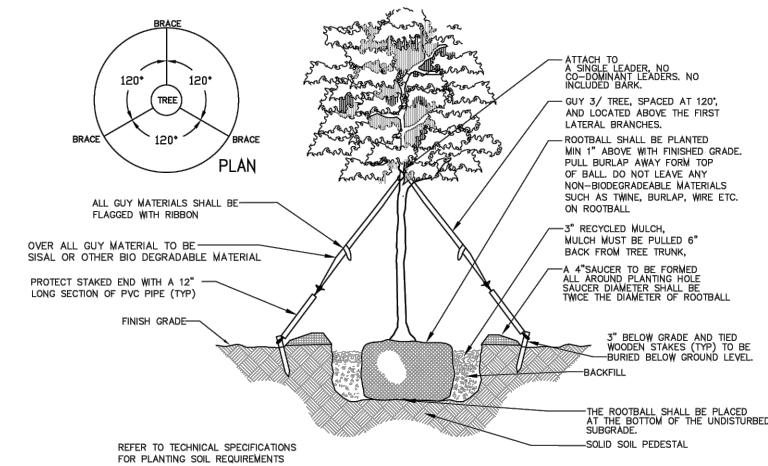
**6 GROUNDCOVER PLANTING**  
SCALE: NTS



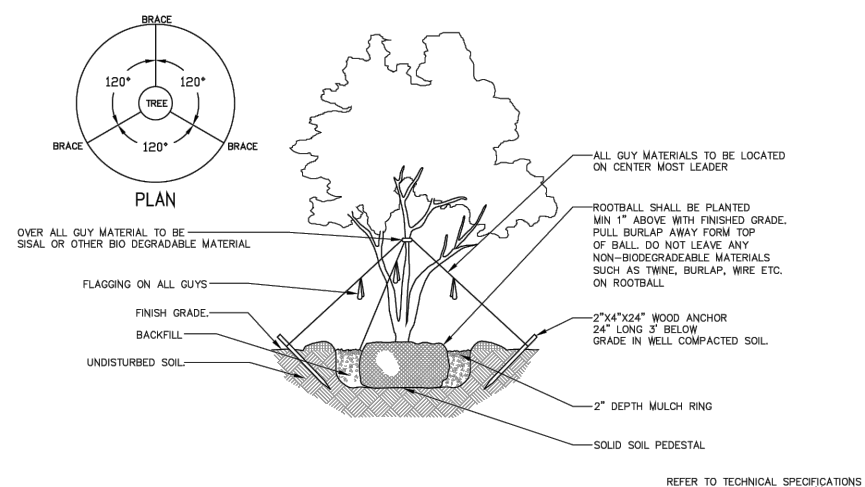
**7 TREE VS LIGHT POLE**  
SCALE: NTS



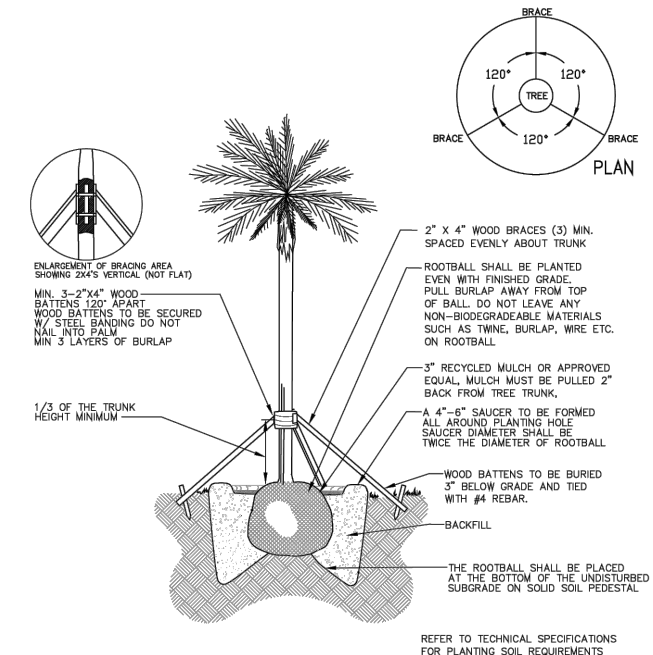
**2 LARGE TREE PLANTING**  
SCALE: NTS



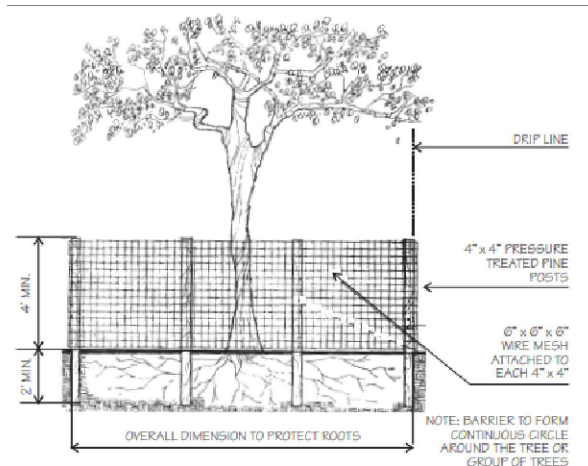
**3 SMALL TREE PLANTING**  
SCALE: NTS



**4 MULTI-TRUNK TREE PLANTING**  
SCALE: NTS


















**1 PALM PLANTING**  
SCALE: NTS
















**8 TREE PROTECTION DETAIL**  
SCALE: NTS



### SHRUBS AND GROUNDCOVERS SCHEDULE

<b>SHRUBS</b>		3,325 sf
	Borrhchia frutescens / Bush Seaside Tansy	
	Capparis cynophallophora / Jamaica Caper	
	Dodonaea viscosa / Hopseed Bush	
	Hymenocallis latifolia / Spider Lily	
	Lycium carolinianum / Christmas Berry	
	Monstera deliciosa / Split-leaf Philodendron	
	Psychotria bahamensis / Bahama Wild Coffee	
<b>GROUNDCOVERS</b>		2,151 sf
	Emodea littoralis / Golden Creeper	
	Flaveria linearis / Narrowleaf Yellowtops	
	Helianthus debilis / Dune Sunflower	
	Muhlenbergia sericea / Dune Hairgrass	
	Spartina bakeri / Sand Cordgrass	
	Stachytarpheta jamaicensis / Blue Porterweed	
	Tripsacum floridana / Dwarf Fakahatchee Grass	
	clusia 'nana' / Dwarf Clusia	

### GROUND LEVEL HARDSCAPE SCHEDULE



<b>03 CONCRETE</b>		
<b>SYMBOL</b>	<b>DESCRIPTION</b>	<b>QTY</b>
	ITEM: Exposed Aggregate Concrete MATERIAL: Concrete FINISH: 1/4" - 1 1/2" Aggregate	1,715 sf
<b>32 EXTERIOR IMPROVEMENTS</b>		
<b>SYMBOL</b>	<b>DESCRIPTION</b>	<b>QTY</b>
	ITEM: Concrete Permeable Paver MANUFACTURER: TBD COLOR: Light Gray THICKNESS: 4"	22,427 sf
	ITEM: 4"x4" Concrete Cobble MANUFACTURER:TBD COLOR:Gray FINISH: Splittface	21,865 sf
	ITEM: Stone paver MANUFACTURER: TBD FINISH: Sandblasted COLOR: Pattern TBD LOCATION: Upper Levels	24,272 sf
	ITEM: Crushed Stone SIZE: 3"-4" COLOR: TBD	7,029 sf
	ITEM: Cast-In-Place Concrete Curb MATERIAL: Concrete TYPE: "D"	331 lf
	ITEM: Cast-In-Place Concrete Curb MATERIAL: Concrete TYPE: "F"	914 lf
	ITEM: Stone Curb MATERIAL: Granite	780 lf
	ITEM: Cast-In-Place Curb MATERIAL: Concrete TYPE: Drop Curb	236 lf
	ITEM: Sidewalks MATERIAL: 6" Concrete FINISH: Brushed	9,644 sf
	ITEM: Driveway MATERIAL: 10" Concrete FINISH: Brushed	4,475 sf
	ITEM: Mulch TYPE: Mini Pine Bark COLOR: Natural LOCATION: Planting Areas	8,424 sf
	ITEM: Sodding TYPE: St. Augustine	16,420 sf

### GROUND LEVEL TREE SCHEDULE

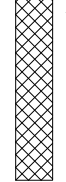
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT TOL
<b>TREES</b>										
	BS	1	Bursera simaruba Specimen	Gumbo Limbo	20'	20'-25'	12"	8' min	Native	High
	CU	4	Coccoloba uvifera Multi-trunk	Sea Grape	10'-12'	8'-10'	6"	6'	Native	High
	CE	17	Conocarpus erectus	Green Buttonwood	16'	8'	4"	5'	Native	High
	EF	3	Eugenia foetida	Spanish Stopper	12'	6'	3"		Native	Moderate
	MF	3	Myrcianthes fragrans	Simpson's Stopper	12'	6'	3"		Native	High
	PD	3	Pimenta dioica	Allspice Tree	12'	6'	2"			
	SM	9	Swietenia mahagoni	West Indian Mahogany	15' OA	15'	4" min	8' min		
<b>PALMS</b>										
	AP	11	Archontophoenix alexandrae	King Alexander Palm	25'	20'	12"		Native	High
	RR	9	Roystonea regia	Royal Palm	25'	20'	12"	20'	Native	High
	TR	3	Thrinax radiata	Florida Thatch Palm	16'	8'	3"	8' min	Native	High



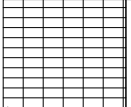

## LEVEL 02 TREE SCHEDULE

SYMBOL	CODE	QTY	REMARKS	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT TOL
TREES											
	CB	2		Calophyllum brasiliense	Brazilian Beautyleaf	12'	6'	3"	4'	Non-Native	High
	EF	3		Eugenia foetida	Spanish Stopper	12'	6'	3"		Native	Moderate
	GS	2		Guaiacum sanctum	Lignum Vitae	8'	4'	2"		Native	High
	MF	3		Myrcianthes fragrans	Simpson's Stopper	12'	6'	3"		Native	High

## SHRUBS AND GROUNDCOVERS SCHEDULE

	<p><b>GROUNDCOVERS</b> 854 sf</p> <p>Ernodea littoralis / Golden Creeper                      Flaveria linearis / Narrowleaf Yellowtops                      Helianthus debilis / Dune Sunflower                      Muhlenbergia sericea / Dune Hairgrass                      Spartina bakeri / Sand Cordgrass                      Stachytarpheta jamaicensis / Blue Porterweed                      Tripsacum floridana / Dwarf Fakahatchee Grass                      clusia 'nana' / Dwarf Clusia</p>
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## LEVEL 2 HARDSCAPE SCHEDULE

LEVEL 2 HARDSCAPE SCHEDULE		
32 EXTERIOR IMPROVEMENTS		
SYMBOL	DESCRIPTION	QTY
	<p>32-14-40</p> <p>ITEM: Stone paver                      MANUFACTURER: TBD                      FINISH: Sandblasted                      COLOR: Pattern TBD                      LOCATION: Upper Levels</p>	2,729 sf
	<p>32-91-13</p> <p>ITEM: Mulch                      TYPE: Mini Pine Bark                      COLOR: Natural                      LOCATION: Planting Areas</p>	854 sf



February 14, 2024

**Via Email**

Brett Bibeau  
Managing Director  
Miami River Commission  
1407 NW 7th Street, Suite D  
Miami, Florida 33125

**Re: Miami RiverBridge / 400 and 298 SE 2 Avenue, Miami, Florida (Folio No. 01-3137-022-0020 and 01-3137-022-0010) (collectively, the “Property”)**

Dear Mr. Bibeau:

Our firm represents HRM Owner, LLC (the “**Applicant**”), in connection with the proposed development the Miami RiverBridge Project (the “**Project**”) at the above-referenced Property, as depicted in the enclosed plans prepared by Arquitectonica (the “**Plans**”). The Property is owned by the City of Miami (the “**City**”) and is subject to a long-term lease approved by the City’s electors and the City Commission. On behalf of the Applicant, please accept this correspondence as the Applicant’s request for a recommendation from the Miami River Commission in support of the proposed Project which is seeking by right approval as a Dry Run application in compliance with all applicable requirements of Miami 21, the City’s Zoning Code.<sup>1</sup>

**I. Property Information**

The Property is currently improved with the James L. Knight Center, the Miami Convention Center, the Miami Conference Center, and the Hyatt Regency Hotel, all of which were originally constructed in the late 1970s.



<sup>1</sup> Please note that on May 11, 2023, the Miami City Commission adopted Resolution No. R-23-0233 which approved certain modifications to the Side Setback requirements set forth in Section 3(mm)(iii) of the City Charter and Section 3.11 of Miami 21, as depicted in the Plans.



The Property is located along the north bank of the Miami River in the heart of City's Urban Core. The Property fronts SE 2 Avenue (also known as Avenue of the Americas) to the east, the Miami River to the south, a hotel building to the west and the I-95 off ramp to the north. Under Miami 21, the Property is zoned T6-80-O and is located within the Central Business District Residential Density Increase Area. The City's Future Land Use Map designates the Property as Urban Central Business District. The Property is located within a Transit Oriented Development ("TOD") and provides a direct connection to the James L. Knight Center Metromover Station. The Property currently includes a Riverwalk of varying width, which provides a connection to the existing Riverwalk network to the west and a limited connection under the SE 2 Avenue/Brickell Avenue bridge to the east.

## **II. The Project**

The Applicant is proposing to redevelop the Property into a cohesive mixed-use development consisting of new residential, lodging, meeting space, and retail uses, as noted in the Plans. The Applicant is presenting this complete site plan for the proposed design of the Project to the Miami River Commission and the Urban Infill & Greenways Committee. The Project includes the following:

1. Minimum 50-foot publicly accessible waterfront setback.
2. Accessible Riverwalk in compliance with Section 3.11 of Miami 21 including the applicable Waterfront Design Standards of Appendix B and the Baywalk & Riverwalk Design Standards and Guidelines.
3. Signage in compliance with the Miami River Greenway: Wayfinding and Environmental Graphics Specifications.
4. Working Waterfront covenant in compliance with Policy PA-3.1.9 of the Miami Comprehensive Neighborhood Plan.

The Project's design is centered around a proposed New Riverfront for All which consists of new and inviting public spaces along the Miami River including a new Riverwalk. The Project complies with the Miami City Charter waterfront setback by providing a minimum fifty-foot (50') setback along the Miami River. The proposed Riverwalk will enhance the existing connection with the Miami River Greenway to the west and underneath the SE 2 Avenue/Brickell Avenue Bridge to the east. This proposed connection along the Miami River Greenway will allow cyclists and pedestrians to seamlessly travel from the South Miami Avenue bridge all the way to Maurice Ferre Park along the Miami River and Biscayne Bay.

The Project will be a signature development that introducing new uses that contribute to and support the growth of Downtown Miami. The proposed redevelopment of the Property is guided by the Lower River design development regulations of both the Miami River Greenway



Action Plan and the Miami River Greenway Regulatory Design Standards. The Project will be a major improvement to the Property, the Miami River, and the City at large.

The Project will activate this segment of the waterfront and enhance the Miami River's status as a regional economic and recreational hub. The proposed development with a mix of residential hotel, commercial, and meeting space uses is precisely the type of development the Miami Comprehensive Neighborhood Plan's Port of Miami River Sub-Element emphasizes when it lists the economic development of the Miami River through job creation and employment opportunities as one of its goals. The proposed uses will transform this underutilized and outdated Property into a vibrant waterfront mixed-use complex that will create numerous employment options and bring unparalleled opportunities to the area.

### **III. Miami River Greenway Action Plan**

The proposed improvements are in compliance with the stated recommendations and goals of the Miami River Greenway Action Plan (the "MRGAP"). Pursuant to the MGRAP, the Property is located in the Lower River section of the Miami River. The MGRAP Lower River Recommendations plan states "[t]he key Greenway design development recommendations for the lower river section are to complete the Miami Riverwalk." The planned improvements at the Property include the creation of an inviting and accessible Riverwalk connection underneath the Brickell Avenue bridge and an enhanced connection from SE 2 Avenue as recommended by the MRGAP.

The MRGAP seeks to create a viable Miami River. The Project meets the stated goals and objectives of the MRGAP. The following describes just a few of the MRGAP goals complied by the proposed improvements at the Property:

- **Goal 1: Improves Access to the River**
  - The proposed public access waterfront walkway and Riverwalk at the Property removes the existing barriers at the site which limit public access to, and enjoyment of, the Miami River. The Project complies with the applicable Miami Riverwalk standards.
  - The proposed public access waterfront walkway and Riverwalk provides landscaping, seating, and gathering areas creating an inviting access point for the public to engage with the Miami River.
- **Goal 2: Sustain the "Working River" Industries of the Miami River**
  - The Project will generate significant employment opportunities along this portion of the Miami River by introducing new hotel, retail, and meeting uses.



- **Goal 4: Serve as a Destination Landscape for Metro Miami**
  - The proposed Riverwalk provides various access points that will attract visitors and residents to the Miami River. Additionally, the proposed uses at the site will attract many visitors and professionals to the Miami River.
  - The Project will open to the public a section of the Miami River which has been inaccessible for many years.
  
- **Goal 5: Encourage a Compatible Land Use Vision for the River**
  - The proposed residential, hotel, commercial, and other uses at the Property will further promote diversity of land uses along the Miami River and complement the existing neighboring uses.

The proposed Project will revitalize the Property and provide a unique economic development opportunity to the Miami River and the greater Miami area. We look forward to continuing to work and cooperate with the Miami River Commission on this exciting project. Should you have any questions, please feel free to contact me. Thank you for your attention and favorable consideration of this matter.

Sincerely,

*Carlos L. Diaz*

*for* Iris V. Escarra

Enclosures



**Miami River Commission's  
Urban Infill and Greenways Subcommittee  
February 16, 2024**

Miami River Commission's (MRC) Urban Infill and Greenways Subcommittee Chairman Jim Murley convened a public meeting on February 16, 2024, 1407 NW 7 ST, at 1 PM. The sign in sheet is attached.

**I) Review Updated "Miami Riverbridge" Plans**

Iris Escarra and Carlos Diaz, Greenberg Traurig, Allen Matis, HRM Owner, Ben Hutchens and Audrey Flynn presented plans, letter of intent, and Restrictive Covenant for Miami Riverbridge, 400 and 298 SE 2 Ave. The presented plans include a publicly accessible riverwalk with seamless connections to existing public Riverwalks to the west and east. Mr. Matis noted the site had a seawall upgrade in 2017, and they surveyed the current seawall, to which they will be adding an additional 1.5-foot seawall cap. The project will provide the City of Miami \$1.5 million for FT Dallas Park featuring the historic Flagler Workers House. That payment will be provided when the building permits are executed, which is estimated in a couple years. Attendees discussed the safe balance between bike and pedestrian users along the public Riverwalk.

**Miami River Commission's (MRC) Urban Infill and Greenways Subcommittee Chairman Jim Murley suggested the MRC recommend approval of the presented plans, letter of intent and restrictive covenant subject to the following 3 conditions:**

- 1) **Work with neighboring existing public Riverwalks to the west (City of Miami) and to the east (FDOT) and encourage them to improve their existing public Riverwalks at the same time as Miami Riverbridge is under construction, therefore simultaneously constructing an entirely new public Riverwalk starting at the western terminus of the public Riverwalk at Epic Residences, and ending at the public Riverwalk beneath the "Riverwalk" Metro Mover station.**
- 2) **Notify MRC of temporary closure dates of the existing public Riverwalk at the Hyatt in order to ensure public safety during construction of Miami Riverbridge.**
- 3) **Consider a marked "Bike Lane" within the 15' wide public Riverwalk's circulation zone.**

**II) Review Plans To Restore the Historically Designated Flagler Workers House in FT Dallas Park**

MRC Director Bibeau stated he had invited the City of Miami Parks and CIP Departments, along with their consultant Richard Heisenbottle, whom were unable to attend the MRC subcommittee meeting but will present to the full MRC on March 4, noon, 101 W Flagler, Downtown Library



Auditorium. MRC Director Bibeau provided the cover of the "City of Miami, Office of Capital Improvements, Flagler Workers House (Palm Cottage) Restoration – Construction Documentation Progress Set 12-10-23", created by Richard Heisenbottle, featuring a depiction of the restored historic structure, which is currently in need of restoration.

**Miami River Commission's (MRC) Urban Infill and Greenways Subcommittee Chairman Jim Murley stated the MRC continues to recommend the expedited restoration of the historically designated Flagler Workers House, followed by the reopening of FT Dallas Park.**

### **III) Review Plans to Restore the Historically Designated Wagner Homestead in Lummus Park**

MRC Director Bibeau stated he had invited the City of Miami Parks and CIP Departments, along with their consultant Richard Heisenbottle, whom were unable to attend the MRC subcommittee meeting but will present to the full MRC on March 4, noon, 101 W Flagler, Downtown Library Auditorium. MRC Director Bibeau provided a copy of Richard Heisenbottle's plans prepared for the City of Miami to restore the historically designated 1856 Wagner Homestead in Lummus Park, which is the oldest standing home in Miami-Dade County.

**Miami River Commission's (MRC) Urban Infill and Greenways Subcommittee Chairman Jim Murley suggested the MRC recommend approval of restorations to the historically designated Wagner Homestead in Lummus Park.**

### **IV) Review Plans to Create the New Riverfront Simon Bolivar Park**

MRC Director Bibeau stated he had invited the City of Miami Parks Department, which was unable to attend the MRC subcommittee meeting, and he will invite them to present to the full MRC on March 4, noon, 101 W Flagler, Downtown Library Auditorium. Director Bibeau distributed the City of Miami's current Plans for "Simon Bolivar Park" located at City owned 1 SW South River Drive and beneath the Flagler Bridge. The plans include a new dog park, and state, "Future Sea Wall and Riverwalk Improvements" and "Future Landscape Improvements". The City of Miami recently commenced improvements at Simon Bolivar Park with the installation of new sod and removal of the uprooted tree hanging into the Miami River.

**Miami River Commission's (MRC) Urban Infill and Greenways Subcommittee Chairman Jim Murley suggested the MRC recommend approval of the planned improvements to Simon Bolivar Park and encourage the "Future Sea Wall and Riverwalk Improvements" and "Future Landscape Improvements" be included ASAP.**



## V) New Business

Jim Murley presented a February 12, 2024 letter from the Florida Ocean Alliance to a ST Representative in support of HB 1311 regarding the Blue Economy.

MRC Director Bibeau shared his following recent email:

**From:** [brettbibeau@miamirivercommission.org](mailto:brettbibeau@miamirivercommission.org) <[brettbibeau@miamirivercommission.org](mailto:brettbibeau@miamirivercommission.org)>  
**Sent:** Wednesday, February 7, 2024 4:14 PM  
**To:** 'Frey, Andrew' <[AFrey@miamigov.com](mailto:AFrey@miamigov.com)>; 'Badia, Hector' <[hbadia@miamigov.com](mailto:hbadia@miamigov.com)>; 'Blondet, Lillian' <[LBlondet@miamigov.com](mailto:LBlondet@miamigov.com)>; 'James.Murley@miamidade.gov' <[James.Murley@miamidade.gov](mailto:James.Murley@miamidade.gov)>; 'Santana Jr., Juvenal' <[jsantana@miamigov.com](mailto:jsantana@miamigov.com)>; 'spencer.crowley@akerman.com' <[spencer.crowley@akerman.com](mailto:spencer.crowley@akerman.com)>; 'Cabrisas, Kathryn' <[KCabrisas@miamigov.com](mailto:KCabrisas@miamigov.com)>; 'brettbibeau@miamirivercommission.org' <[brettbibeau@miamirivercommission.org](mailto:brettbibeau@miamirivercommission.org)>  
**Subject:** RE: MEETING INVITATION RE: 20 NW North River Drive Attached Awarded FIND Grant Report and Application

Dear Director Santana,

During your 2/1 "Sunshine Meeting" presentation aired on CH.77, you stated something along the lines of the City having sufficient funding appropriated to build seawalls with public Riverwalks / Baywalks at every appropriate street end in the City of Miami. Therefore does the City have sufficient funding for needed new seawalls and public Riverwalks at the following City owned locations?

- 1 SW South River Drive (Flagler dead-end into NW South River Drive)
- Flagler dead end into North River Drive
- Along Wagner Creek (various City owned street dead ends)
- Along NW South River Drive west of 27 Ave
- NW 25 Ave dead end into the Miami River's north shore

Thanks for your time and support of the Miami River

Sincerely,  
Brett"

The public meeting adjourned.



Miami River Commission Urban Infill and Greenways Subcommittee

Public Meeting

February 16, 2024 - 1:00 PM

1407 NW 7 ST, Arts and Crafts Boardroom (facing Miami River)

Name	Organization	Telephone	Email
Allen Mats	HRM Owner	786-493-5559	allen@matsassociates.com
Leonardo Rodriguez	LANGAN	305-794-6707	lrodriguez@langan.com
Carlos Diaz	Greenberg Traurig	305-579-0502	diazc@gtlaw.com
Iris Escarra	Greenberg Traurig	305-579-0577	escarra@gtlaw.com
Ben Hutchens	ARQUITECTONICA GEO	305 372 1812	<del>bhutchens@arquitectonica.com</del> bhutchens@arquitectonica.com
Audrey Flynn	Arquitectonica	305 372 1812	aflynn@arquitectonica.com
Alexander Gonzalez	Any.	"	agonzalez@"
Lucas Mats	HRM Owner	305-308-1738	lucas@matsassociates.com
Megan Kelly	MAC	786-556-5620	
Eileen Broton	MRC + Spring Garden	3/790-4584	Eileen.Broton@bellsouth.net
Judith Paul	Spring Garden resident		jpaul703@bellsouth.net
Betty Hermida	MRC	786-853-0559	vmhermida@comcast.net
Brett Bibeau	MRC	305 644 0544	brettbibeau@miamirivercommission.org
Jim Murley			





Mayor  
Francis Suarez

Commission:

D1 Commissioner  
Alex Diaz de la Portilla

Chairman - D2 Commissioner  
Sabina Covo

D3 Commissioner  
Joe Carollo

D4 Commissioner  
Manolo Reyes

D5 Commissioner  
Christine King

City Manager  
Arthur Noriega

# CITY OF MIAMI

OFFICE OF CAPITAL IMPROVEMENTS

Hector Badia, Director

## FLAGLER WORKER'S HOUSE (PALM COTTAGE) RESTORATION

CITY OF MIAMI PROJECT B-193404  
60-64 SE 4TH STREET, MIAMI, FL 33131  
CONSTRUCTION DOCUMENT PROGRESS SET - 12-10-23



FLAGLER WORKER'S  
HOUSE AT FORT  
DALLAS PARK

SELECTIVE DEMOLITION & RESTORATION  
60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
CITY OF MIAMI  
444 SW 2ND ST. 8TH FLOOR  
MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

### PROJECT TEAM



PRIME CONSULTANT & STRUCTURAL ENGINEER  
5757 WATERFORD DISTRICT DRIVE, SUITE 255  
MIAMI, FLORIDA 33126  
TEL: 305-461-3450

### BISCAYNE ENGINEERING

SURVEYOR  
529 WEST FLAGLER STREET,  
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TEL: 305-324-7671 FAX: 305-324-0809

### EMTec CORPORATION

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CORAL GABLES, FLORIDA 33146  
TEL: 305-461-3883

### RJ HEISENBOTTE

ARCHITECTURE  
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SUITE 400  
CORAL GABLES, FL 33134  
TELEPHONE: 305-446-7799 FAX: 305-446-9275  
FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

COVER SHEET, LOCATION  
PLAN, PROJECT SITE AND  
DRAWING INDEX

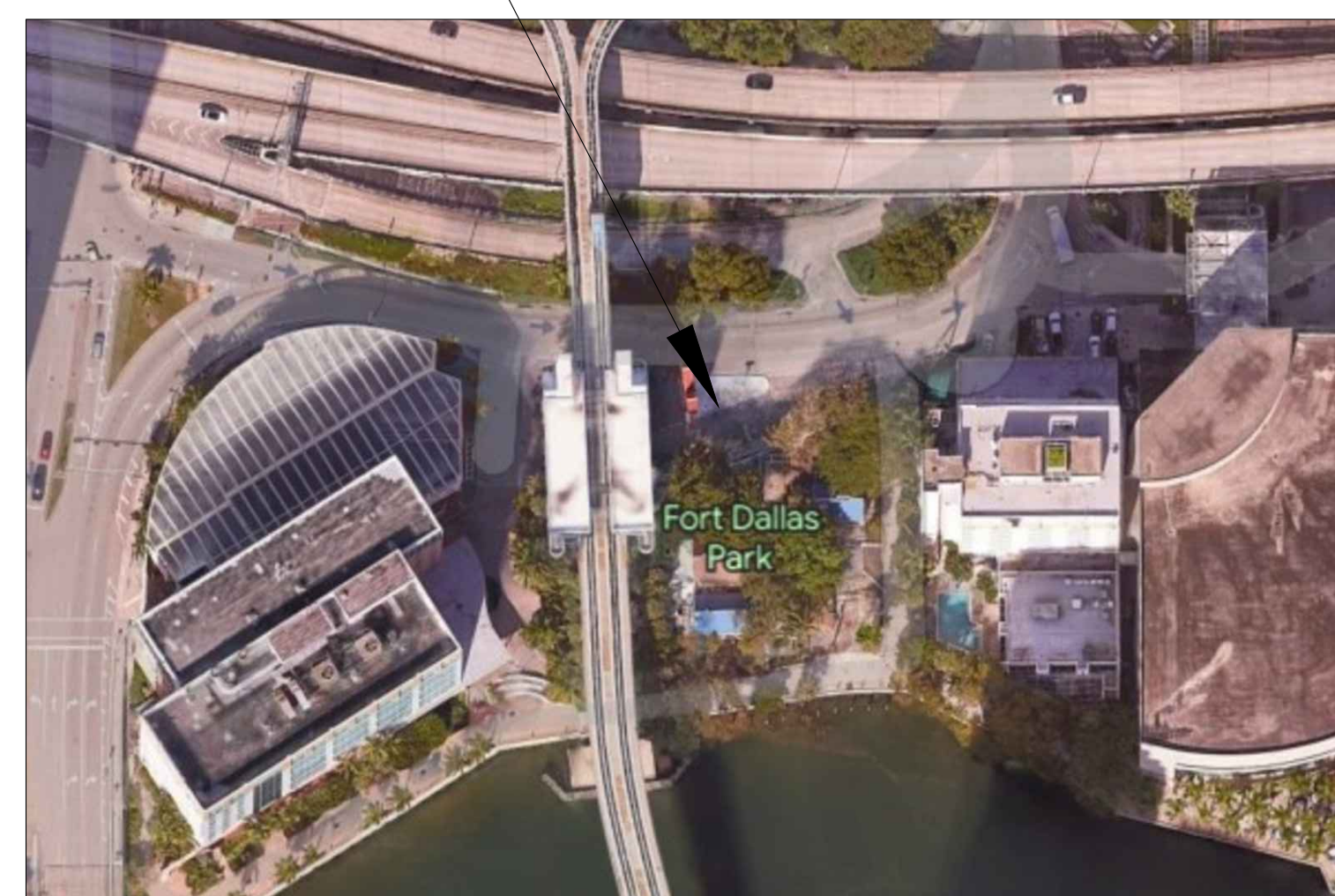
PROJECT NO. B-193404  
DRAWING NO.

G-0



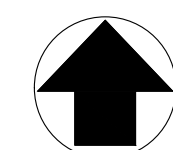
INDEX OF DRAWINGS	
SHEET	DESCRIPTION
G-0	COVER SHEET
G-1	GENERAL NOTES
G-2	GENERAL NOTES
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A1.01	PROPOSED ARCHITECTURAL SITE PLAN
A2.00	EXISTING FIRST FLOOR PLAN - SELECTIVE DEMOLITION
A2.01	PROPOSED FIRST FLOOR PLAN
A2.02	EXISTING SECOND FLOOR PLAN - SELECTIVE DEMOLITION AND PROPOSED SECOND FLOOR PLAN
A2.03	EXISTING THIRD FLOOR PLAN - SELECTIVE DEMO AND PROPOSED FIRST FLOOR PLAN
A2.04	EXISTING ROOF PLAN - SELECTIVE DEMOLITION AND PROPOSED ROOF PLAN
A3.00	EXISTING EAST ELEVATION - SELECTIVE DEMOLITION AND PROPOSED EAST ELEVATION
A3.01	EXISTING NORTH ELEVATION - SELECTIVE DEMOLITION AND PROPOSED NORTH ELEVATION
A3.02	EXISTING WEST ELEVATION - SELECTIVE DEMOLITION AND PROPOSED WEST ELEVATION
A3.03	EXISTING SOUTH ELEVATION - SELECTIVE DEMOLITION AND PROPOSED SOUTH ELEVATION
A3.04	PROPOSED SECTIONS
A4.00	PORCH DETAILS
A4.01	ACCESS RAMP AND STAIR DETAILS
A4.02	ACCESS RAMP AND STAIR DETAILS
A4.03	WALL TYPES AND DETAILS
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A4.05	ROOF DETAILS
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A5.00	PROPOSED EXTERIOR DOOR TYPES AND DETAILS
A5.01	PROPOSED INTERIOR DOOR TYPES AND DETAILS
A5.02	PROPOSED WINDOW TYPES AND DETAILS

FLAGLER WORKER'S HOUSE  
LOCATION

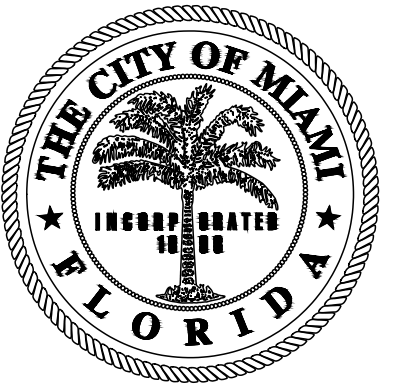
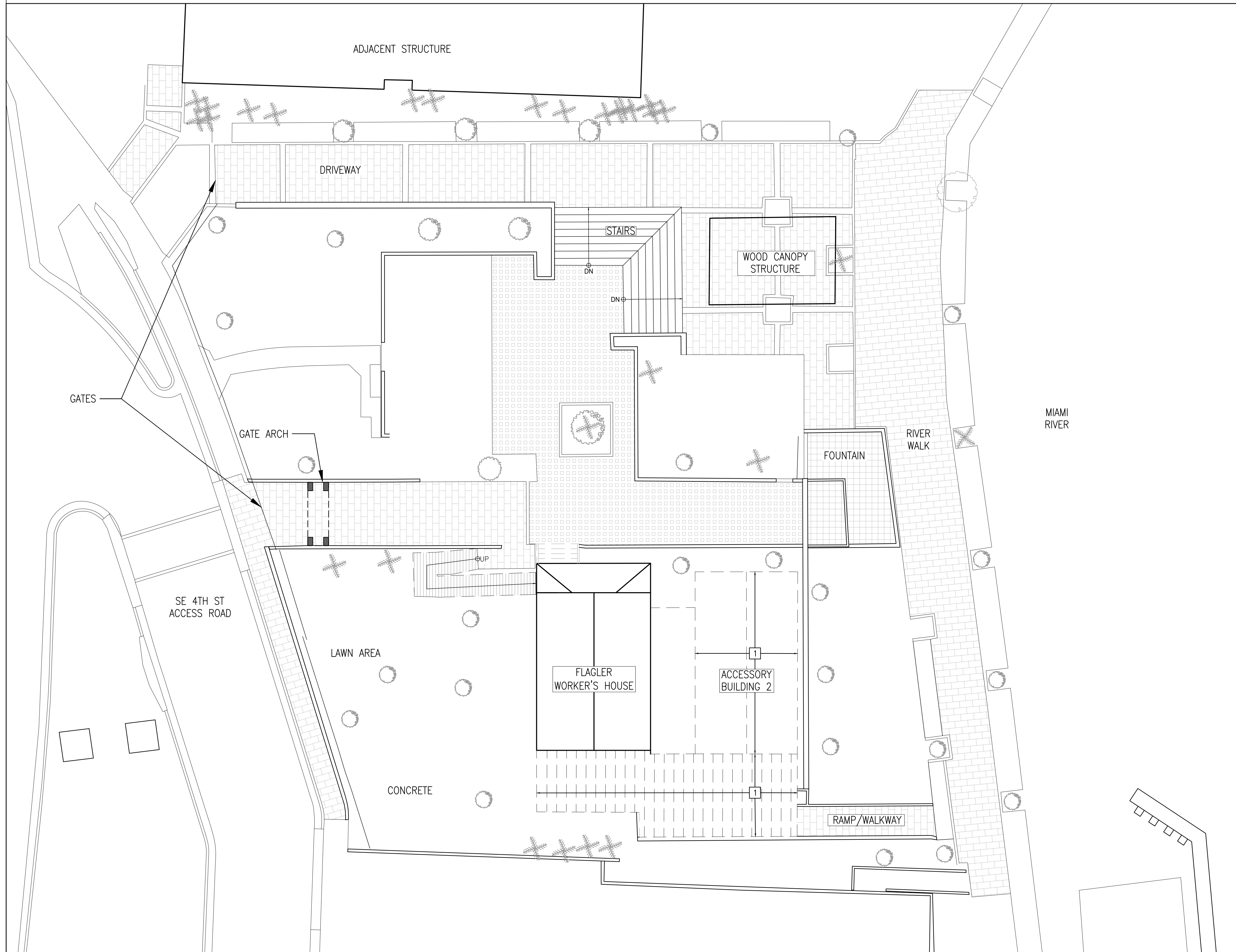


LOCATION MAP

N.T.S.







**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**

SELECTIVE DEMOLITION & RESTORATION  
60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
444 SW 2ND ST. 8TH FLOOR  
MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**



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FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

**EXISTING/SELECTIVE DEMOLITION ARCHITECTURAL SITE PLAN**

PROJECT NO. B-193404  
DRAWING NO.

- INDICATES EXISTING PALM TREES
- INDICATES EXISTING TREE
- INDICATES EXISTING PAVER AREA AND SIDEWALKS
- EXISTING TO BE REMOVED INCLUDING FOUNDATIONS
- EXISTING TO REMAIN

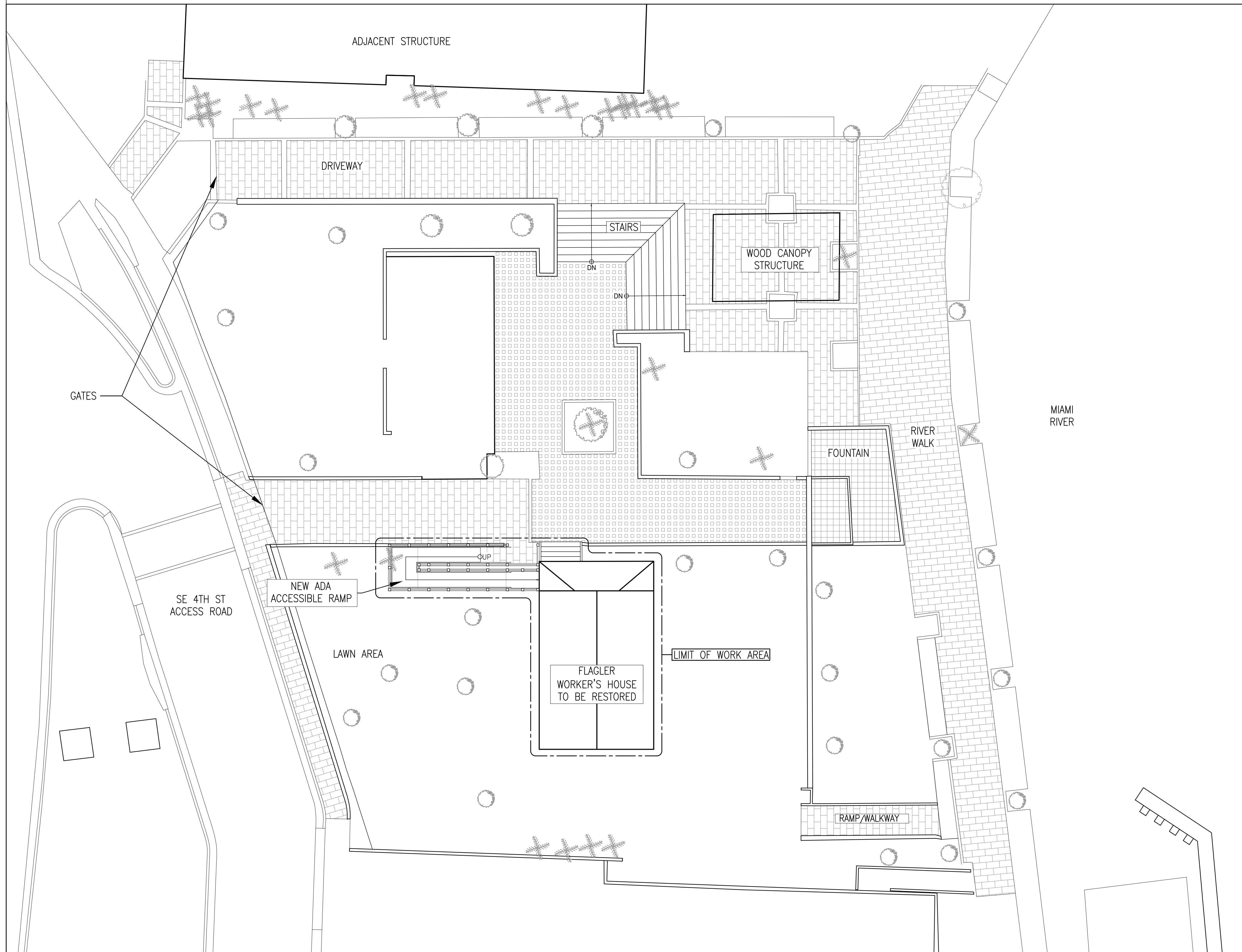
**1 SELECTIVE DEMOLITION ARCHITECTURAL SITE PLAN**

SCALE: 3/32" = 1'-0"

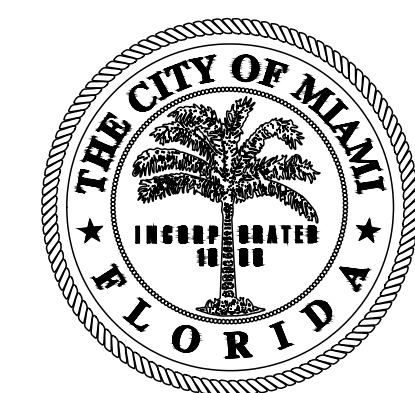
**2 LEGEND**

A1.00





	INDICATES EXISTING PALM TREES
	INDICATES EXISTING TREE
	INDICATES EXISTING PAVER AREA AND SIDEWALKS
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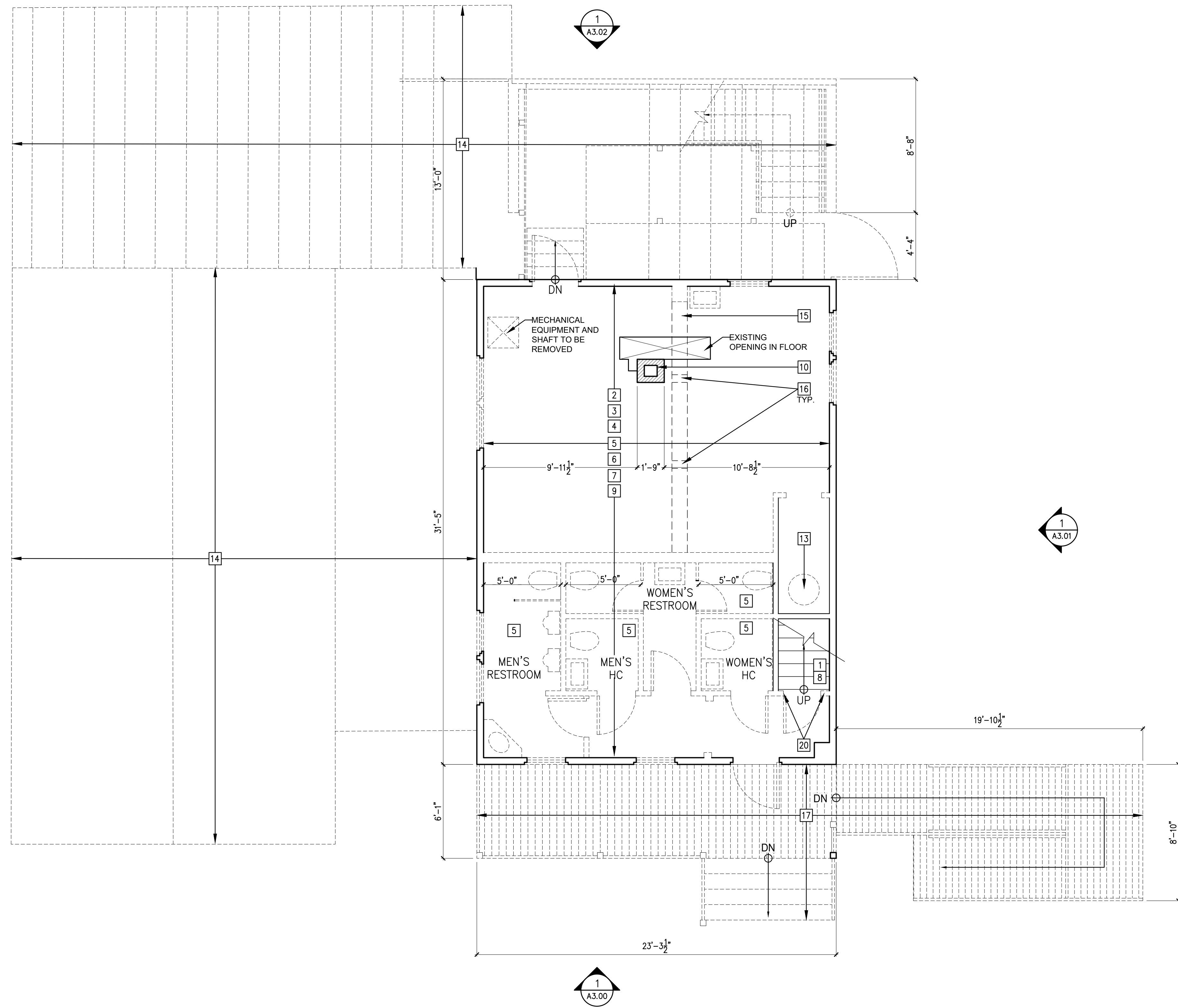
**PROPOSED ARCHITECTURAL SITE PLAN**

PROJECT NO. B-193404  
 DRAWING NO.

1	PROPOSED ARCHITECTURAL SITE PLAN	SCALE: 3/32" = 1'-0"
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2	LEGEND	A1.01
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**1 EXISTING FIRST FLOOR PLAN - SELECTIVE DEMOLITION**

SCALE: 1/4" = 1'-0"

- 1. REMOVE CARPET FROM STAIR AND DISCARD.
- 2. REMOVE ALL EXISTING GYPSUM BOARD FROM THE CEILING SURFACES. PRIOR TO REMOVING THE CEILINGS, THE LIGHT FIXTURES SHOULD BE DISCONNECTED AND REMOVED.
- 3. REMOVE ALL EXISTING GYPSUM BOARD, FLOOR BASE AND WINDOW TRIM FROM THE WALLS. PRIOR TO REMOVING THE GYPSUM WALLS, GIVE CARE TO REMOVE THE EXISTING FLOOR BASE AND TRIM. PIECES ARE TO BE USED FOR MATCHING NEW SELECTION.
- 4. REMOVE THE EXISTING FINISH FLOORING AND PLYWOOD SUB-FLOOR. INSPECT AND REPLACE ANY ROTTED AND DAMAGED FLOOR FRAMING COMPONENTS TO MATCH EXISTING BEFORE INSTALLING NEW PLYWOOD, SUB-FLOOR AND FINISH FLOOR. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 5. REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING AND ACCESSORIES.
- 6. DISCONNECT AND REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, CONDUITS, PANELS AND LIGHT FIXTURES AND ASSOCIATED ACCESSORIES. PROPERLY DISCONNECT AND CAP SOURCE OF ELECTRICITY.
- 7. REMOVE MISC. ITEMS, SUCH AS HARDWARE OR RUBBISH.
- 8. EXISTING STAIR TO REMAIN.
- 9. REMOVE EXISTING PARTITIONS/WALLS WHERE SHOWN.
- 10. EXISTING CHIMNEY TO REMAIN.
- 11. NOT USED.
- 12. REMOVE ATTIC STAIR.
- 13. REMOVE WATER HEATER.
- 14. REMOVE METAL ACCESSORY, STAIR STRUCTURE AND CONCRETE SLAB IN ITS ENTIRETY.
- 15. BEAM ABOVE TO BE REMOVED IN ITS ENTIRETY. SEE STRUCTURAL DRAWINGS.
- 16. WOOD COLUMNS TO BE REMOVED. SEE STRUCTURAL DRAWINGS.
- 17. REMOVE EXISTING PORCH AND RAMP IN THEIR ENTIRETY.
- 18. REMOVE EXISTING ROOFING DOWN TO THE SUBSHEATHING. REPLACE ANY DAMAGED OR ROTTED SHEATHING. DURING THE REPLACEMENT OF SUBSHEATHING, INSPECT THE ROOF FRAMING MEMBERS BELOW. SEE STRUCTURAL DRAWINGS. INSPECT THE ROOF FRAMING MEMBERS FOR ROT AND DETERIORATION. IF ROT AND DETERIORATION ARE FOUND, REPLACE ROOF RAFTERS BEFORE INSTALLING NEW SHEATHING.
- 19. REMOVE EXISTING GUTTERS AND DOWNSPOUTS.
- 20. REMOVE DOOR, TRIM AND PORTION OF WALL FROM FLOOR TO CEILING.
- 21. REMOVE BALUSTRADE, NEWEL POST AND HANDRAIL IN THEIR ENTIRETY.

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW DRYWALL PARTITION
- BRICK

**2 DEMOLITION KEYNOTES**

**3 LEGEND**



**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**  
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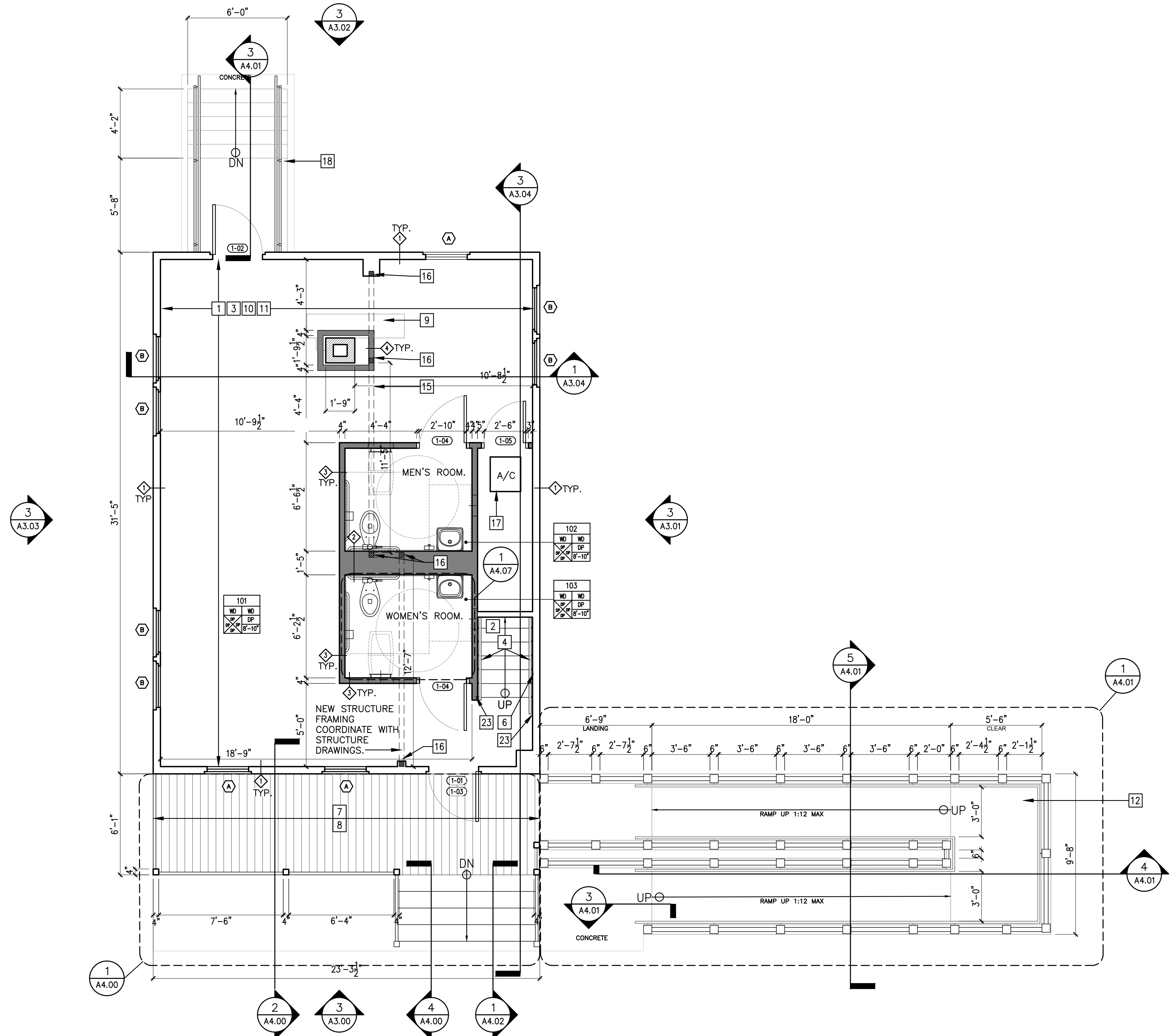
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**EXISTING FIRST FLOOR PLAN - SELECTIVE DEMOLITION**

PROJECT NO. B-193404  
 DRAWING NO.





**1 PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1. INSTALL NEW 5/8" GYPSUM BOARD CEILING AND WALL FINISH; PREP, PRIME AND PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
2. RESTORE THE STAIR RISERS AND TREADS BY CLEANING, SANDING AND THEM PRIME. APPLY 2 FINISHING COATS OF SEMI-GLOSS FINISH.
3. INSTALL NEW PLYWOOD SUB-FLOOR, WITH NEW HEART PINE WOOD FINISH FLOORING ON TOP.
4. INSTALL NEW CODE-COMPLIANT HANDRAIL.
5. INSTALL NEW CODE-COMPLIANT WOODEN BALUSTRADE AND HANDRAIL.
6. RESTORE ORIGINAL LATH AND PLASTER WALL IN THE MAIN STAIR.
7. CONSTRUCT NEW WOOD PORCH TO BE FLUSH WITH FINISHED FIRST FLOOR.
8. INSTALL NEW IPE WOOD FLOORING (1X4) TO MATCH EXISTING IN DIMENSIONS AND PROFILES. PAINT BENJAMIN MOORE PEALE GREEN HC-121.
9. CONSTRUCT NEW INFILL FLOOR FRAMING TO MATCH EXISTING ADJACENT CONSTRUCTION. SEE STRUCTURAL DRAWINGS.
10. INSTALL NEW WINDOW TRIM. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
11. INSTALL NEW WALL BASE. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
12. CONSTRUCT NEW CODE-COMPLIANT ADA RAMP.
13. INSTALL NEW PLY-WOOD SUB-FLOOR.
14. NEW FAKRO LMS INSULATED METAL ATTIC LADDER WITH A R.O. 22.5" X 54" (SKU #: 66868).
15. NEW W8 STEEL BEAM. SEE STRUCTURAL DRAWINGS.
16. NEW HSS 3-1/2X3-1/2" STEEL COLUMNS. SEE STRUCTURAL DRAWINGS.
17. A/C UNIT. SEE MECHANICAL.
18. INSTALL NEW CONCRETE STAIR AND CODE-COMPLIANT GUARDRAILS.
19. INSTALL NEW PARTITION WALLS WITH SOLID WOOD DOOR PAINTED TO MATCH EXISTING. PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
20. INSTALL NEW CERTI-LAST PRESERVATIVE TREATED CEDAR SHINGLES BY WATKINS SAWMILL OVER CEDAR BREATHER ROOFING UNDERLAYMENT AND ASSOCIATED COPPER FLASHING (SUBMIT PRODUCT DATA FOR ARCHITECTS REVIEW) OVER GAF VERSASHIELD FIRE RESISTANT ROOF DECK PROTECTION OVER OWENS CORNING TITANIUM PSU30 ICE & WATER SHIELD OVER EXISTING ROOF SHEATHING. INSTALL ROOFING SYSTEM PER LATEST FLORIDA BUILDING CODE, RAS-111 & 115 REQUIREMENTS, AND MANUFACTURER'S RECOMMENDATIONS (TYP.)
21. INSPECT AND RE-POINT CHIMNEY CAP AND MORTAR JOINTS AS REQUIRED TO MATCH EXISTING MORTAR PROFILE AND COLOR.
22. INSTALL NEW HALF ROUND GALVANIZED GUTTER AND DOWNSPOUT SYSTEM.
23. FINISH END PORTION OF WALL UP TO THE CEILING TO MATCH EXISTING ADJACENT WALL. PAINT BENJAMIN MOORE MONTEREY WHITE HC-121.
24. RAFTERS AND WALL FRAMING TO BE LEFT EXPOSED.

- LEGEND**
- EXISTING TO BE REMOVED
  - EXISTING TO REMAIN
  - NEW DRYWALL PARTITION
  - BRICK

**2 PROPOSED KEYNOTES**

**3 LEGEND**



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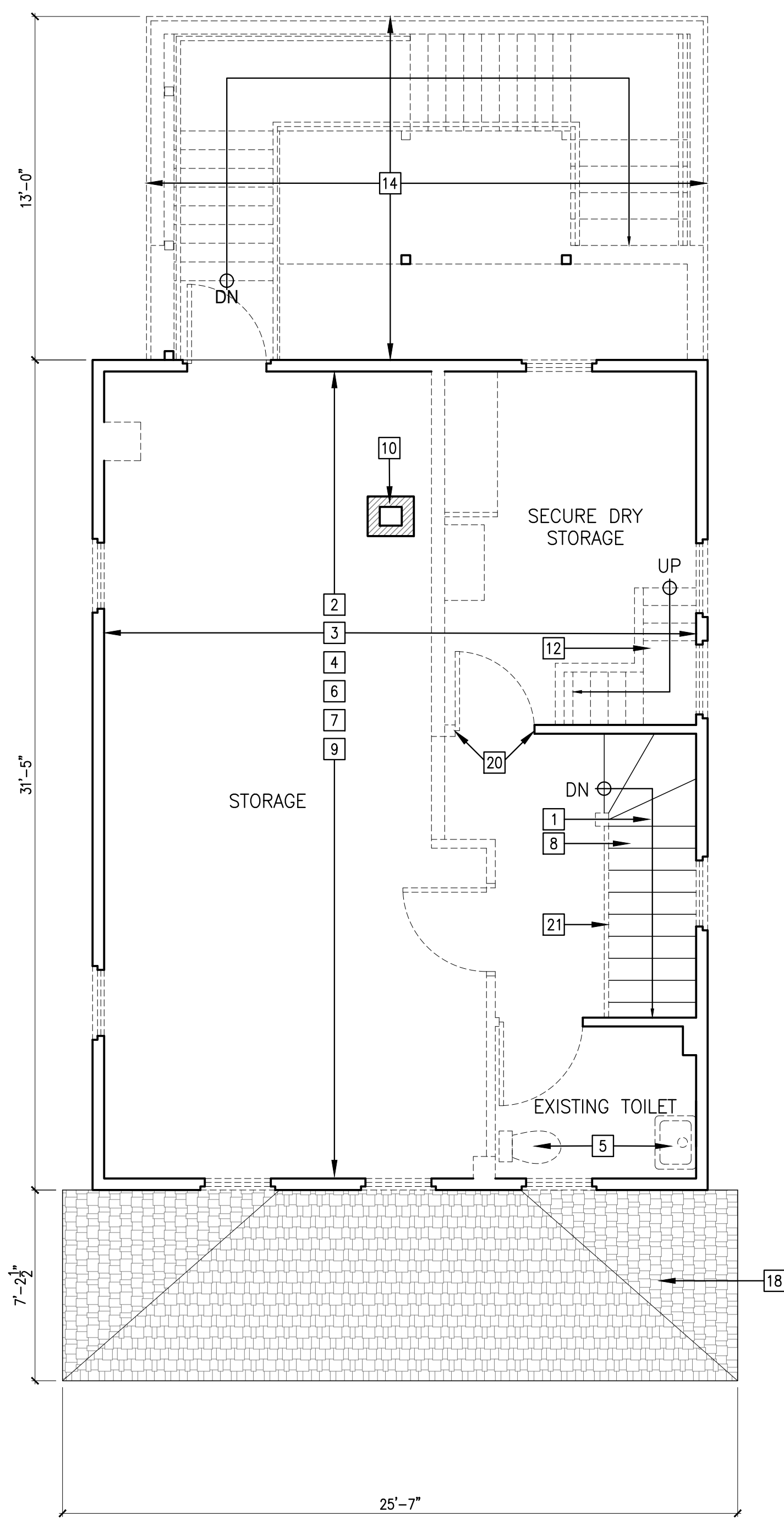
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FLORIDA REGISTRATION NUMBER: AR 0010865

**PROPOSED FIRST FLOOR PLAN**

PROJECT NO. B-193404  
DRAWING NO.

A2.01



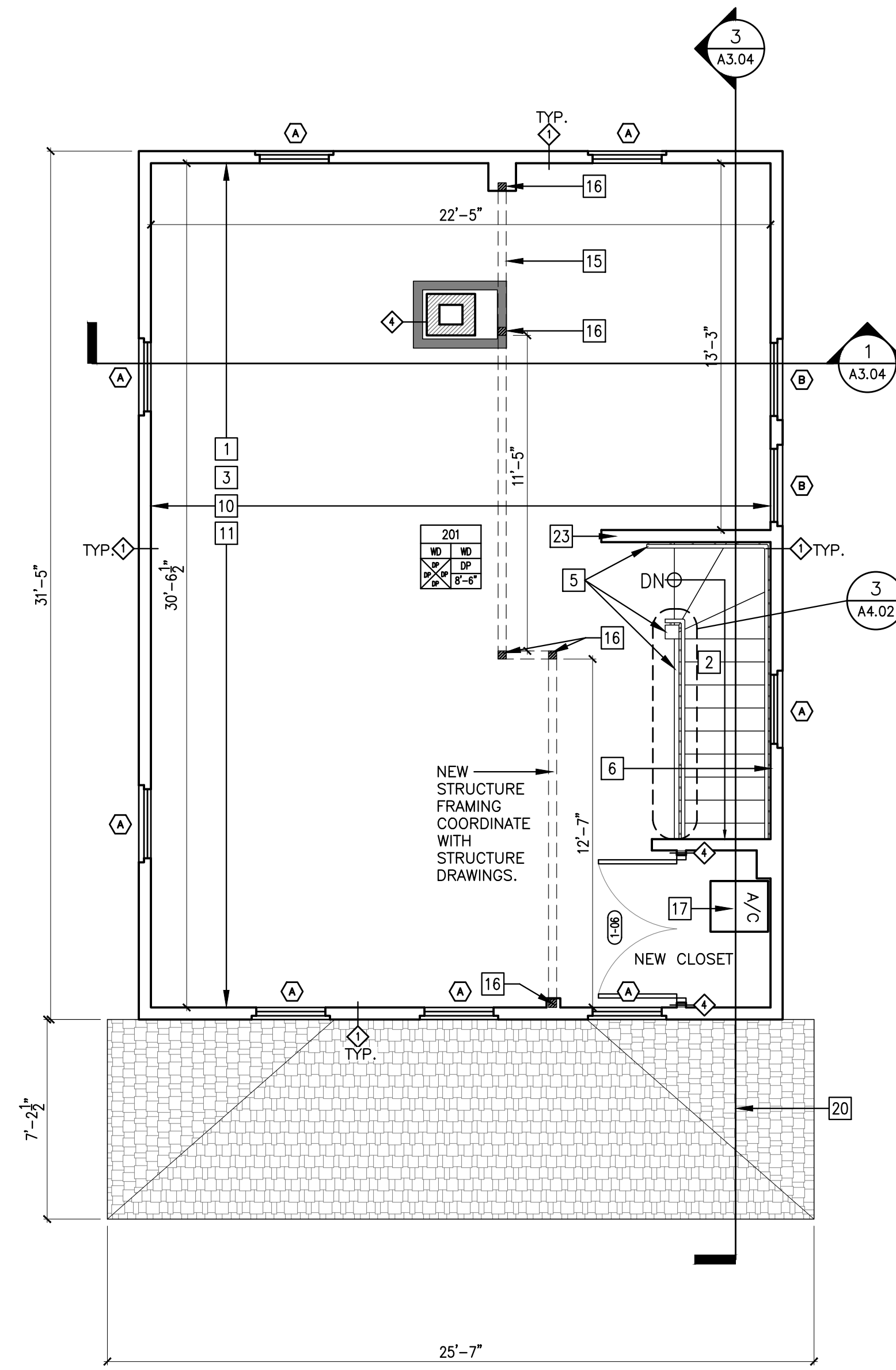


1 EXISTING SECOND FLOOR PLAN - SELECTIVE DEMO

SCALE: 1/4" = 1'-0"

1. REMOVE CARPET FROM STAIR AND DISCARD.
2. REMOVE ALL EXISTING GYPSUM BOARD FROM THE CEILING SURFACES. PRIOR TO REMOVING THE CEILINGS, THE LIGHT FIXTURES SHOULD BE DISCONNECTED AND REMOVED.
3. REMOVE ALL EXISTING GYPSUM BOARD, FLOOR BASE AND WINDOW TRIM FROM THE WALLS. PRIOR TO REMOVING THE GYPSUM WALLS, GIVE CARE TO REMOVE THE EXISTING FLOOR BASE AND TRIM. PIECES ARE TO BE USED FOR MATCHING NEW SELECTION.
4. REMOVE THE EXISTING FINISH FLOORING AND PLYWOOD SUB-FLOOR. INSPECT AND REPLACE ANY ROTTED AND DAMAGED FLOOR FRAMING COMPONENTS TO MATCH EXISTING BEFORE INSTALLING NEW PLYWOOD, SUB-FLOOR AND FINISH FLOOR. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
5. REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING AND ACCESSORIES.
6. DISCONNECT AND REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, CONDUITS, PANELS AND LIGHT FIXTURES AND ASSOCIATED ACCESSORIES. PROPERLY DISCONNECT AND CAP SOURCE OF ELECTRICITY.
7. REMOVE MISC. ITEMS, SUCH AS HARDWARE OR RUBBISH.
8. EXISTING STAIR TO REMAIN.
9. REMOVE EXISTING PARTITIONS/WALLS WHERE SHOWN.
10. EXISTING CHIMNEY TO REMAIN.
11. NOT USED.
12. REMOVE ATTIC STAIR.
13. REMOVE WATER HEATER.
14. REMOVE METAL ACCESSORY, STAIR STRUCTURE AND CONCRETE SLAB IN ITS ENTIRETY.
15. BEAM ABOVE TO BE REMOVED IN ITS ENTIRETY. SEE STRUCTURAL DRAWINGS.
16. WOOD COLUMNS TO BE REMOVED. SEE STRUCTURAL DRAWINGS.
17. REMOVE EXISTING PORCH AND RAMP IN THEIR ENTIRETY.
18. REMOVE EXISTING ROOFING DOWN TO THE SUBSHEATHING. REPLACE ANY DAMAGED OR ROTTED SHEATHING. DURING THE REPLACEMENT OF SUBSHEATHING, INSPECT THE ROOF FRAMING MEMBERS BELOW. SEE STRUCTURAL DRAWINGS. INSPECT THE ROOF FRAMING MEMBERS FOR ROT AND DETERIORATION. IF ROT AND DETERIORATION ARE FOUND, REPLACE ROOF RAFTERS BEFORE INSTALLING NEW SHEATHING.
19. REMOVE EXISTING GUTTERS AND DOWNSPOUTS.
20. REMOVE DOOR, TRIM AND PORTION OF WALL FROM FLOOR TO CEILING.
21. REMOVE BALUSTRADE, NEWEL POST AND HANDRAIL IN THEIR ENTIRETY.

3 DEMO KEYNOTES



2 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

1. INSTALL NEW 5/8" GYPSUM BOARD CEILING AND WALL FINISH. PREP, PRIME AND PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
2. RESTORE THE STAIR RISERS AND TREADS BY CLEANING, SANDING AND THEM PRIME. APPLY 2 FINISHING COATS OF SEMI-GLOSS FINISH.
3. INSTALL NEW PLYWOOD SUB-FLOOR, WITH NEW HEART PINE WOOD FINISH FLOORING ON TOP.
4. INSTALL NEW CODE-COMPLIANT HANDRAIL.
5. INSTALL NEW CODE-COMPLIANT WOODEN BALUSTRADE AND HANDRAIL.
6. RESTORE ORIGINAL LATH AND PLASTER WALL IN THE MAIN STAIR.
7. CONSTRUCT NEW WOOD PORCH TO BE FLUSH WITH FINISHED FIRST FLOOR.
8. INSTALL NEW IPE WOOD FLOORING (1X4) TO MATCH EXISTING IN DIMENSIONS AND PROFILES. PAINT BENJAMIN MOORE PEALE GREEN HC-121.
9. CONSTRUCT NEW INFILL FLOOR FRAMING TO MATCH EXISTING ADJACENT CONSTRUCTION. SEE STRUCTURAL DRAWINGS.
10. INSTALL NEW WINDOW TRIM. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
11. INSTALL NEW WALL BASE. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
12. CONSTRUCT NEW CODE-COMPLIANT ADA RAMP.
13. INSTALL NEW PLY-WOOD SUB-FLOOR.
14. NEW FAKRO LMS INSULATED METAL ATTIC LADDER WITH A R.O. 22.5" X 54" (SKU #: 66868).
15. NEW W8 STEEL BEAM. SEE STRUCTURAL DRAWINGS.
16. NEW HSS 3-1/2"x3-1/2" STEEL COLUMNS. SEE STRUCTURAL DRAWINGS.
17. A/C UNIT. SEE MECHANICAL.
18. INSTALL NEW CONCRETE STAIR AND CODE-COMPLIANT GUARDRAILS.
19. INSTALL NEW PARTITION WALLS WITH SOLID WOOD DOOR PAINTED TO MATCH EXISTING. PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
20. INSTALL NEW CERTI-LAST PRESERVATIVE TREATED CEDAR SHINGLES BY WATKINS SAWMILL OVER CEDAR BREATHER ROOFING UNDERLAYMENT AND ASSOCIATED COPPER FLASHING (SUBMIT PRODUCT DATA FOR ARCHITECTS REVIEW) OVER GAF VERSASHIELD FIRE RESISTANT ROOF DECK PROTECTION OVER OWENS CORNING TITANIUM PSU30 ICE & WATER SHIELD OVER EXISTING ROOF SHEATHING. INSTALL ROOFING SYSTEM PER LATEST FLORIDA BUILDING CODE, RAS-111 & 115 REQUIREMENTS, AND MANUFACTURER'S RECOMMENDATIONS (TYP.)
21. INSPECT AND RE-POINT CHIMNEY CAP AND MORTAR JOINTS AS REQUIRED TO MATCH EXISTING MORTAR PROFILE AND COLOR.
22. INSTALL NEW HALF ROUND GALVANIZED GUTTER AND DOWNSPOUT SYSTEM.
23. FINISH END PORTION OF WALL UP TO THE CEILING TO MATCH EXISTING ADJACENT WALL. PAINT BENJAMIN MOORE MONTEREY WHITE HC-121.
24. RAFTERS AND WALL FRAMING TO BE LEFT EXPOSED.

4 PROPOSED KEYNOTES

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW DRYWALL PARTITION
- BRICK

5 LEGEND



**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**  
 SELECTIVE DEMOLITION & RESTORATION  
 60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
 444 SW 2ND ST. 8TH FLOOR  
 MIAMI, FLORIDA 33130-1910

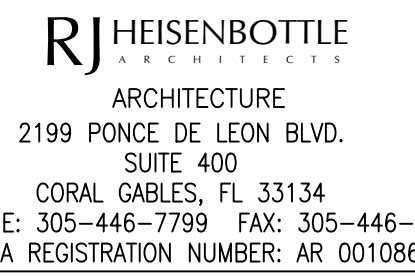
NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**



**BISCAYNE ENGINEERING**  
 SURVEYOR  
 529 WEST FLAGLER STREET,  
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**EMTec CORPORATION**  
 MECHANICAL ELECTRICAL AND PLUMBING ENGINEERS  
 1550 MADRUGA AVENUE #408  
 CORAL GABLES, FLORIDA 33146  
 TEL: 305-461-3883

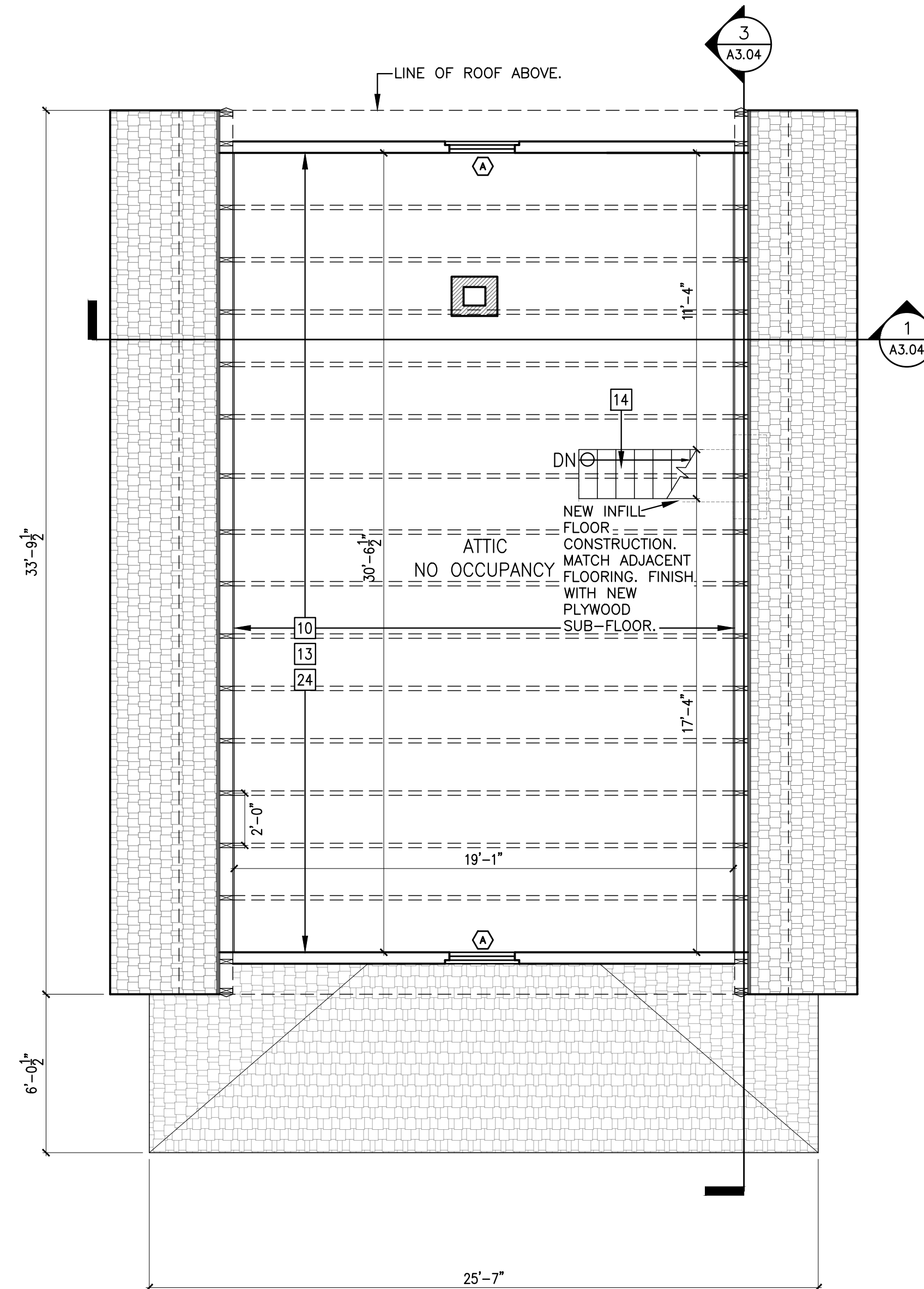
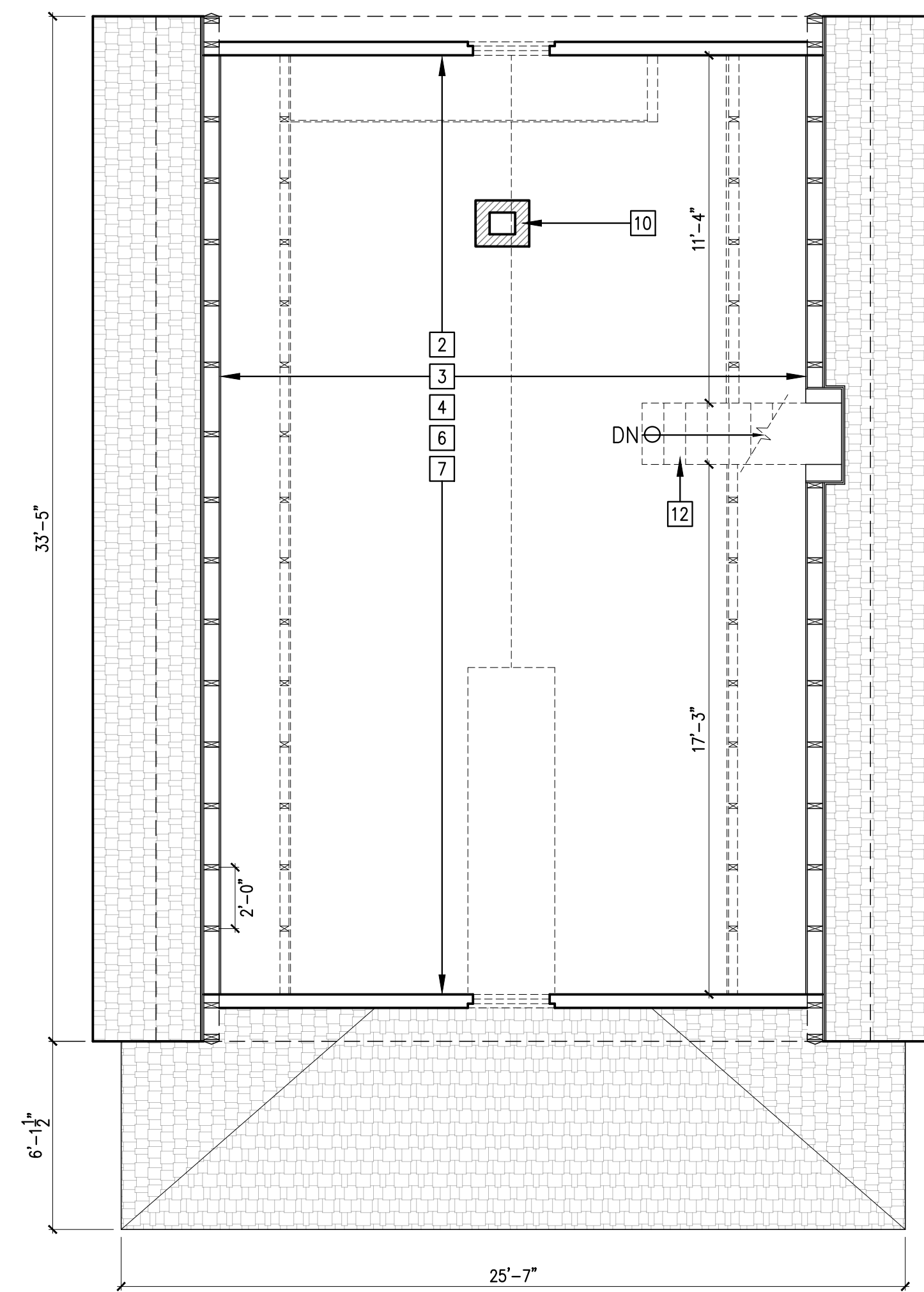


SHEET TITLE

**EXISTING SECOND FLOOR PLAN - SELECTIVE DEMO AND PROPOSED SECOND FLOOR PLAN**

PROJECT NO. B-19304  
 DRAWING NO.





**1 EXISTING THIRD FLOOR PLAN - SELECTIVE DEMO**

SCALE: 1/4" = 1'-0"

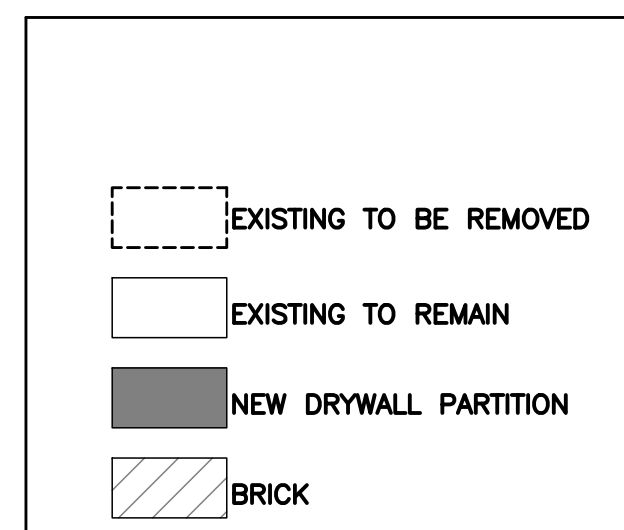
1. REMOVE CARPET FROM STAIR AND DISCARD.
2. REMOVE ALL EXISTING GYPSUM BOARD FROM THE CEILING SURFACES. PRIOR TO REMOVING THE CEILINGS, THE LIGHT FIXTURES SHOULD BE DISCONNECTED AND REMOVED.
3. REMOVE ALL EXISTING GYPSUM BOARD, FLOOR BASE AND WINDOW TRIM FROM THE WALLS. PRIOR TO REMOVING THE GYPSUM WALLS, GIVE CARE TO REMOVE THE EXISTING FLOOR BASE AND TRIM. PIECES ARE TO BE USED FOR MATCHING NEW SELECTION.
4. REMOVE THE EXISTING FINISH FLOORING AND PLYWOOD SUB-FLOOR. INSPECT AND REPLACE ANY ROTTED AND DAMAGED FLOOR FRAMING COMPONENTS TO MATCH EXISTING BEFORE INSTALLING NEW PLYWOOD, SUB-FLOOR AND FINISH FLOOR. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
5. REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING AND ACCESSORIES.
6. DISCONNECT AND REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, CONDUITS, PANELS AND LIGHT FIXTURES AND ASSOCIATED ACCESSORIES. PROPERLY DISCONNECT AND CAP SOURCE OF ELECTRICITY.
7. REMOVE MISC. ITEMS, SUCH AS HARDWARE OR RUBBISH.
8. EXISTING STAIR TO REMAIN.
9. REMOVE EXISTING PARTITIONS/WALLS WHERE SHOWN.
10. EXISTING CHIMNEY TO REMAIN.
11. NOT USED.
12. REMOVE ATTIC STAIR.
13. REMOVE WATER HEATER.
14. REMOVE METAL ACCESSORY, STAIR STRUCTURE AND CONCRETE SLAB IN ITS ENTIRETY.
15. BEAM ABOVE TO BE REMOVED IN ITS ENTIRETY. SEE STRUCTURAL DRAWINGS.
16. WOOD COLUMNS TO BE REMOVED. SEE STRUCTURAL DRAWINGS.
17. REMOVE EXISTING PORCH AND RAMP IN THEIR ENTIRETY.

18. REMOVE EXISTING ROOFING DOWN TO THE SUBSHEATHING. REPLACE ANY DAMAGED OR ROTTED SHEATHING. DURING THE REPLACEMENT OF SUBSHEATHING, INSPECT THE ROOF FRAMING MEMBERS BELOW. SEE STRUCTURAL DRAWINGS. INSPECT THE ROOF FRAMING MEMBERS FOR ROT AND DETERIORATION. IF ROT AND DETERIORATION ARE FOUND, REPLACE ROOF RAFTERS BEFORE INSTALLING NEW SHEATHING.
19. REMOVE EXISTING GUTTERS AND DOWNSPOUTS.
20. REMOVE DOOR, TRIM AND PORTION OF WALL FROM FLOOR TO CEILING.
21. REMOVE BALUSTRADE, NEWEL POST AND HANDRAIL IN THEIR ENTIRETY.

**2 PROPOSED THIRD FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1. INSTALL NEW 5/8" GYPSUM BOARD CEILING AND WALL FINISH; PREP, PRIME AND PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
2. RESTORE THE STAIR RISERS AND TREADS BY CLEANING, SANDING AND THEM PRIME. APPLY 2 FINISHING COATS OF SEMI-GLOSS FINISH.
3. INSTALL NEW PLYWOOD SUB-FLOOR, WITH NEW HEART PINE WOOD FINISH FLOORING ON TOP.
4. INSTALL NEW CODE-COMPLIANT HANDRAIL
5. INSTALL NEW CODE-COMPLIANT WOODEN BALUSTRADE AND HANDRAIL
6. RESTORE ORIGINAL LATH AND PLASTER WALL IN THE MAIN STAIR.
7. CONSTRUCT NEW WOOD PORCH TO BE FLUSH WITH FINISHED FIRST FLOOR.
8. INSTALL NEW IPE WOOD FLOORING (1X4) TO MATCH EXISTING IN DIMENSIONS AND PROFILES. PAINT BENJAMIN MOORE PEALE GREEN HC-121.
9. CONSTRUCT NEW INFILL FLOOR FRAMING TO MATCH EXISTING ADJACENT CONSTRUCTION. SEE STRUCTURAL DRAWINGS.
10. INSTALL NEW WINDOW TRIM. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
11. INSTALL NEW WALL BASE. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
12. CONSTRUCT NEW CODE-COMPLIANT ADA RAMP.
13. INSTALL NEW PLY-WOOD SUB-FLOOR.
14. NEW FAKRO LMS INSULATED METAL ATTIC LADDER WITH A R.O. 22.5" X 54" (SKU #: 66868).
15. NEW W8 STEEL BEAM. SEE STRUCTURAL DRAWINGS.
16. NEW HSS 3-1/2"x3-1/2" STEEL COLUMNS. SEE STRUCTURAL DRAWINGS.
17. A/C UNIT. SEE MECHANICAL.
18. INSTALL NEW CONCRETE STAIR AND CODE-COMPLIANT GUARDRAILS.
19. INSTALL NEW PARTITION WALLS WITH SOLID WOOD DOOR PAINTED TO MATCH EXISTING. PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
20. INSTALL NEW CERTI-LAST PRESERVATIVE TREATED CEDAR SHINGLES BY WATKINS SAWMILL OVER CEDAR BREATHER ROOFING UNDERLAYMENT AND ASSOCIATED COPPER FLASHING (SUBMIT PRODUCT DATA FOR ARCHITECTS REVIEW) OVER GAF VERSASHIELD FIRE RESISTANT ROOF DECK PROTECTION OVER OWENS CORNING TITANIUM PSU30 ICE & WATER SHIELD OVER EXISTING ROOF SHEATHING. INSTALL ROOFING SYSTEM PER LATEST FLORIDA BUILDING CODE, RAS-111 & 115 REQUIREMENTS, AND MANUFACTURER'S RECOMMENDATIONS (TYP.)
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23. FINISH END PORTION OF WALL UP TO THE CEILING TO MATCH EXISTING ADJACENT WALL. PAINT BENJAMIN MOORE MONTEREY WHITE HC-121.
24. RAFTERS AND WALL FRAMING TO BE LEFT EXPOSED.



**3 DEMO KEYNOTES**

**4 PROPOSED KEYNOTES**

**5 LEGEND**



**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**

SELECTIVE DEMOLITION & RESTORATION  
60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
444 SW 2ND ST. 8TH FLOOR  
MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**



PRIME CONSULTANT & STRUCTURAL ENGINEER  
5757 WATERFORD DISTRICT DRIVE, SUITE 255  
MIAMI, FLORIDA 33126  
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**BISCAYNE ENGINEERING**

SURVEYOR  
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1550 MADRUGA AVENUE #408  
CORAL GABLES, FLORIDA 33146  
TEL: 305-461-3883

**RJ HEISENBOTTLE**

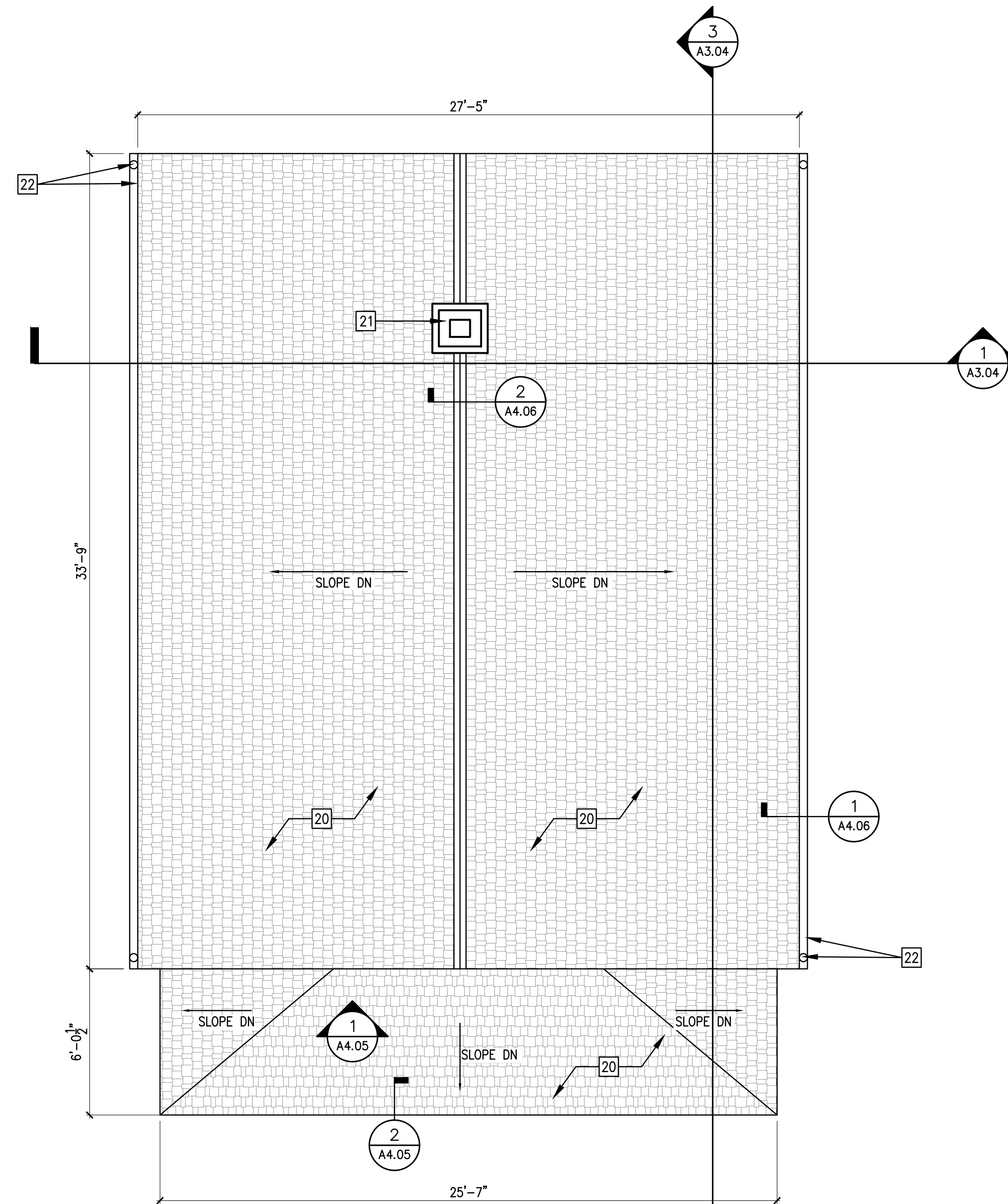
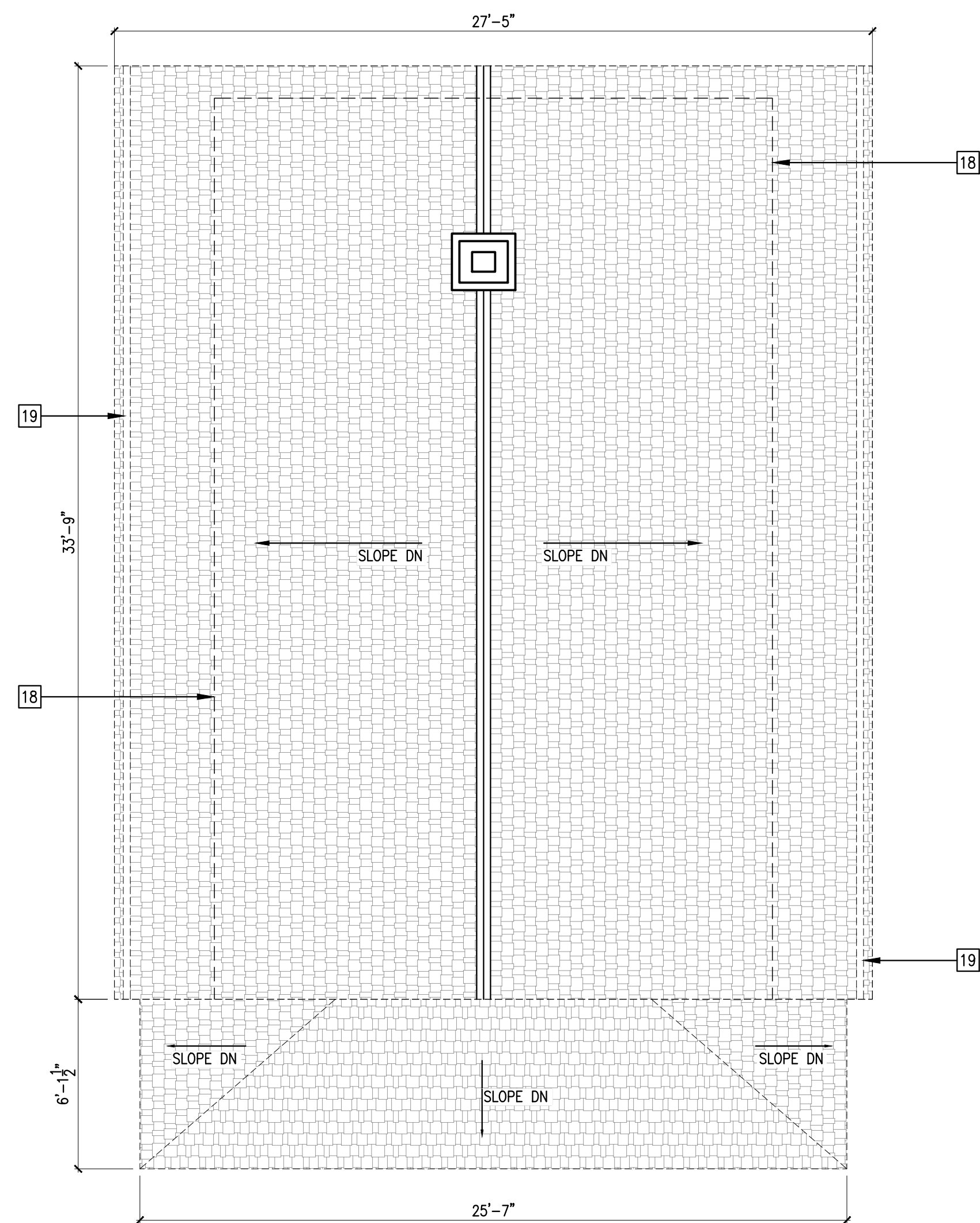
ARCHITECTURE  
2199 PONCE DE LEON BLVD.  
SUITE 400  
CORAL GABLES, FL 33134  
TELEPHONE: 305-446-7799 FAX: 305-446-9275  
FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

**EXISTING THIRD FLOOR PLAN  
-SELECTIVE DEMO AND  
PROPOSED THIRD FLOOR PLAN**

PROJECT NO. B-193404  
DRAWING NO.





**1 EXISTING ROOF PLAN - SELECTIVE DEMO**

SCALE: 1/4" = 1'-0"

1. REMOVE CARPET FROM STAIR AND DISCARD.
2. REMOVE ALL EXISTING GYPSUM BOARD FROM THE CEILING SURFACES. PRIOR TO REMOVING THE CEILINGS, THE LIGHT FIXTURES SHOULD BE DISCONNECTED AND REMOVED.
3. REMOVE ALL EXISTING GYPSUM BOARD, FLOOR BASE AND WINDOW TRIM FROM THE WALLS. PRIOR TO REMOVING THE GYPSUM WALLS, GIVE CARE TO REMOVE THE EXISTING FLOOR BASE AND TRIM. PIECES ARE TO BE USED FOR MATCHING NEW SELECTION.
4. REMOVE THE EXISTING FINISH FLOORING AND PLYWOOD SUB-FLOOR. INSPECT AND REPLACE ANY ROTTED AND DAMAGED FLOOR FRAMING COMPONENTS TO MATCH EXISTING BEFORE INSTALLING NEW PLYWOOD, SUB-FLOOR AND FINISH FLOOR. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
5. REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING AND ACCESSORIES.
6. DISCONNECT AND REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, CONDUITS, PANELS AND LIGHT FIXTURES AND ASSOCIATED ACCESSORIES. PROPERLY DISCONNECT AND CAP SOURCE OF ELECTRICITY.
7. REMOVE MISC. ITEMS, SUCH AS HARDWARE OR RUBBISH.
8. EXISTING STAIR TO REMAIN.
9. REMOVE EXISTING PARTITIONS/WALLS WHERE SHOWN.
10. EXISTING CHIMNEY TO REMAIN.
11. NOT USED.
12. REMOVE ATTIC STAIR.
13. REMOVE WATER HEATER.
14. REMOVE METAL ACCESSORY, STAIR STRUCTURE AND CONCRETE SLAB IN ITS ENTIRETY.
15. BEAM ABOVE TO BE REMOVED IN ITS ENTIRETY. SEE STRUCTURAL DRAWINGS.
16. WOOD COLUMNS TO BE REMOVED. SEE STRUCTURAL DRAWINGS.
17. REMOVE EXISTING PORCH AND RAMP IN THEIR ENTIRETY.
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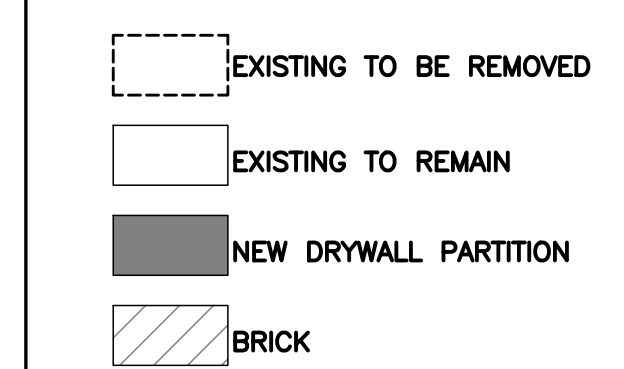
**3 DEMO KEYNOTES**

**2 PROPOSED ROOF FLOOR PLAN**

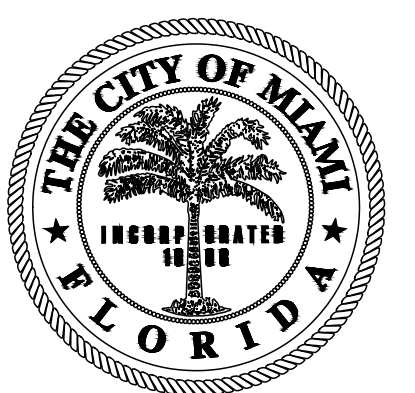
SCALE: 1/4" = 1'-0"

1. INSTALL NEW 5/8" GYPSUM BOARD CEILING AND WALL FINISH; PREP, PRIME AND PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
2. RESTORE THE STAIR RISERS AND TREADS BY CLEANING, SANDING AND THEM PRIME. APPLY 2 FINISHING COATS OF SEMI-GLOSS FINISH.
3. INSTALL NEW PLYWOOD SUB-FLOOR, WITH NEW HEART PINE WOOD FINISH FLOORING ON TOP.
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23. FINISH END PORTION OF WALL UP TO THE CEILING TO MATCH EXISTING ADJACENT WALL. PAINT BENJAMIN MOORE MONTEREY WHITE HC-121.
24. RAFTERS AND WALL FRAMING TO BE LEFT EXPOSED.

**4 PROPOSED KEYNOTES**



**5 LEGEND**



**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**  
**SELECTIVE DEMOLITION & RESTORATION**  
 60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
 444 SW 2ND ST. 8TH FLOOR  
 MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**

**WOOD/DONNELLS/ACCARATO**  
 PRIME CONSULTANT & STRUCTURAL ENGINEER  
 5757 WATERFORD DISTRICT DRIVE, SUITE 255  
 MIAMI, FLORIDA 33126  
 TEL: 305-461-3450

**BISCAYNE ENGINEERING**  
 SURVEYOR  
 529 WEST FLAGLER STREET,  
 MIAMI FLORIDA, FL 33130  
 TEL: 305-324-7671 FAX: 305-324-0809

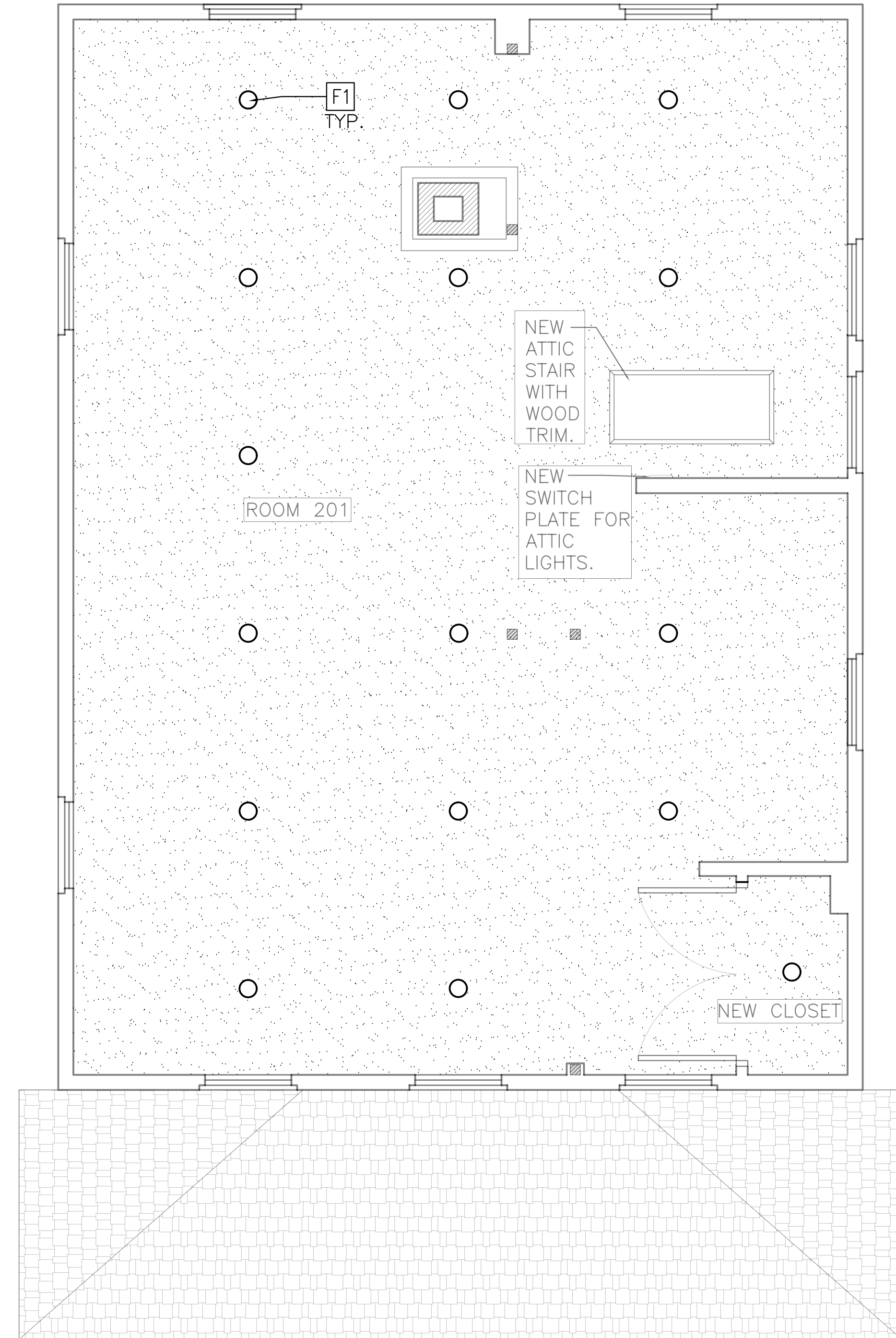
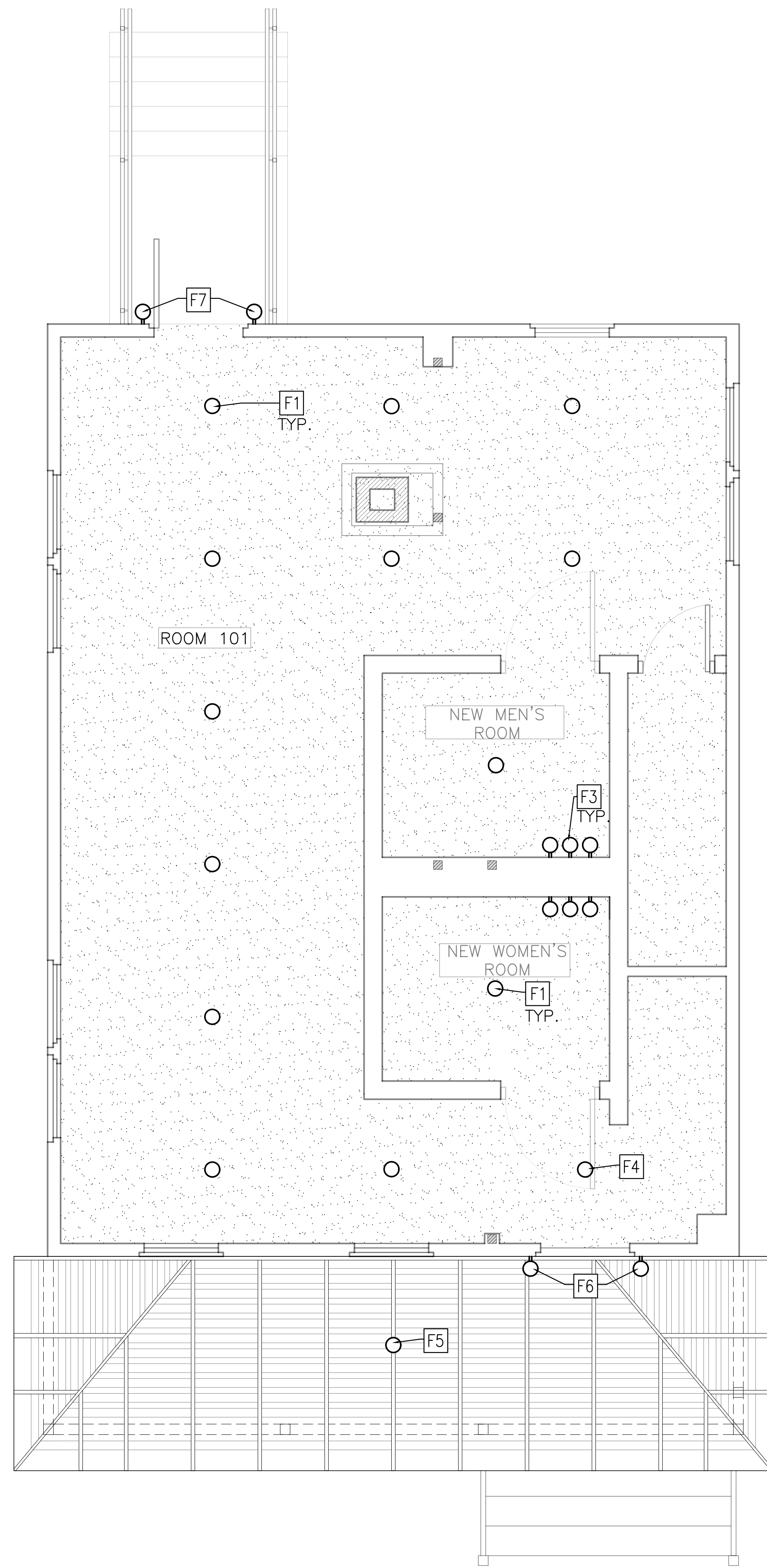
**EMTec CORPORATION**  
 MECHANICAL ELECTRICAL AND PLUMBING ENGINEERS  
 1550 MADRUGA AVENUE #408  
 CORAL GABLES, FLORIDA 33146  
 TEL: 305-461-3883

**RJ HEISENBOTTLE**  
 ARCHITECTURE  
 2199 PONCE DE LEON BLVD.  
 SUITE 400  
 CORAL GABLES, FL 33134  
 TELEPHONE: 305-446-7799 FAX: 305-446-9275  
 FLORIDA REGISTRATION NUMBER: AR 0010865

**EXISTING ROOF PLAN -SELECTIVE DEMO AND PROPOSED ROOF PLAN**

PROJECT NO. B-193404  
 DRAWING NO.





**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**

SELECTIVE DEMOLITION & RESTORATION  
60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
444 SW 2ND ST. 8TH FLOOR  
MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**



PRIME CONSULTANT & STRUCTURAL ENGINEER  
5757 WATERFORD DISTRICT DRIVE, SUITE 255  
MIAMI, FLORIDA 33126  
TEL: 305-461-3450

BISCAYNE ENGINEERING  
SURVEYOR  
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ARCHITECTURE  
2199 PONCE DE LEON BLVD.  
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FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

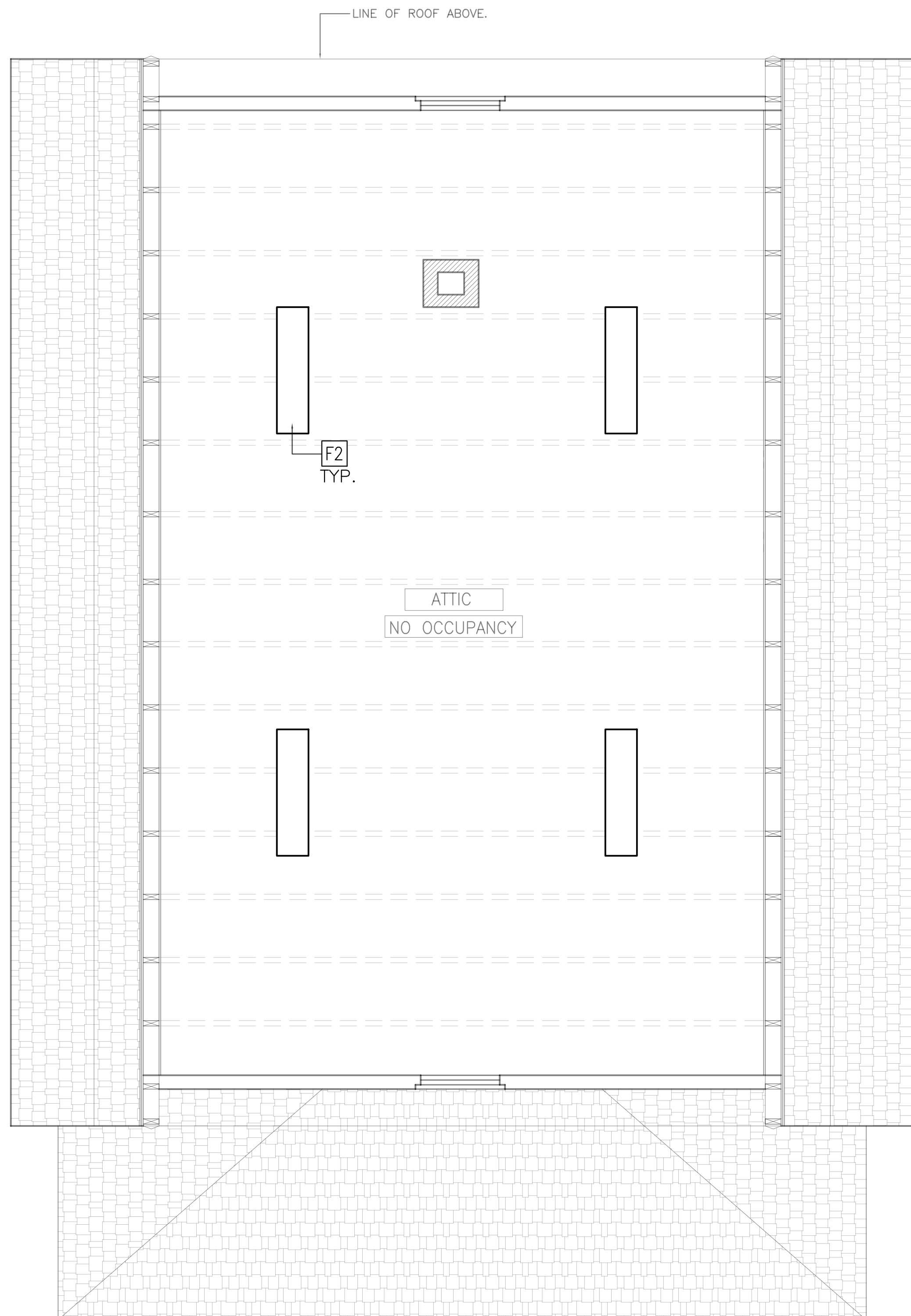
**PROPOSED REFLECTED CEILING PLAN**

PROJECT NO.	B-193404
DRAWING NO.	

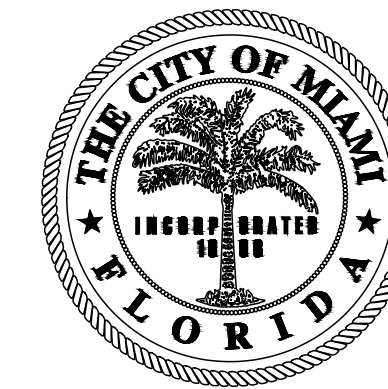
1 PROPOSED REFLECTED CEILING PLAN FIRST FLOOR  
SCALE: 3/8" = 1'-0"

2 PROPOSED REFLECTED CEILING PLAN SECOND FLOOR  
SCALE: 3/8" = 1'-0"





LIGHTING FIXTURE SCHEDULE						
TYPE	TYPE	DESCRIPTION	MFR	MODEL NUMBER	LAMPS	MOUNTING
F1	FAN LIGHTS	SCHOOLHOU GLOBE LIGHT KIT	HUNTER	22555 or 22515	LED	FAN
F2	FAN LIGHTS	SCHOOLHOU GLOBE LIGHT KIT	HUNTER	22555 or 22515	LED	FAN
F3	CENTRAL LIVING ROOM LIGHT	12 IN. FROSTED GLASS ROUND DIFFUSER SHADE	HOME DEPOT	#801265	LED	FLUSHMOUNT
F4	EXISTING KITCHEN	RETAIN EXISTING FIXTURE, REPLACE LIGHTBULB WITH NEW LED, AND CLEAN GLOBE			LED	FLUSHMOUNT
F5	EXISTING KITCHEN	RETAIN EXISTING FIXTURE, REPLACE LIGHTBULB WITH NEW LED, AND CLEAN GLOBE			LED	FLUSHMOUNT
F6	DINING ALCOVE	INSPIRE 18" 3-LIGHT SATIN BRASS SEMI-FLUSH MOUNT CEILING LIGHT	PROGRESS LIGHTING	P350167-012	LED	SEMI-FLUSHMOUNT
F7	BATHROOM	MERCER DOUBLE HORIZONTAL SCONCE	POTTERY BARN	4687495	LED	SCONCE



**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**

SELECTIVE DEMOLITION & RESTORATION  
60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
444 SW 2ND ST. 8TH FLOOR  
MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**

**WOOD / O'DONNELL'S / NACCARATO**  
PRIME CONSULTANT & STRUCTURAL ENGINEER  
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MIAMI, FLORIDA 33126  
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TELEPHONE: 305-446-7799 FAX: 305-446-9275  
FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

**PROPOSED REFLECTED CEILING PLAN**

PROJECT NO. B-193404  
DRAWING NO.

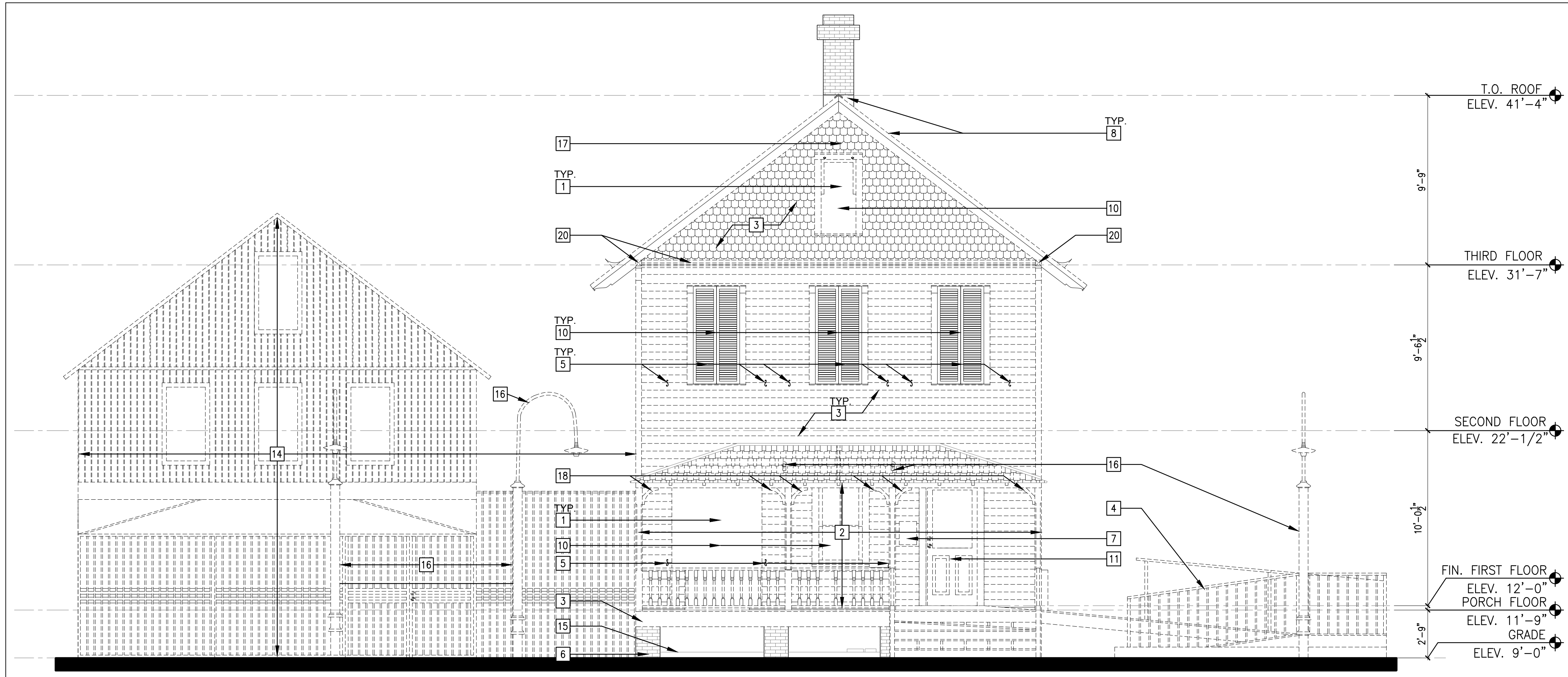
**A2.06**

1 PROPOSED RELFECTED CEILING PLAN THIRD FLOOR

SCALE: 3/8" = 1'-0"

2 LIGHTING SCHEDULE

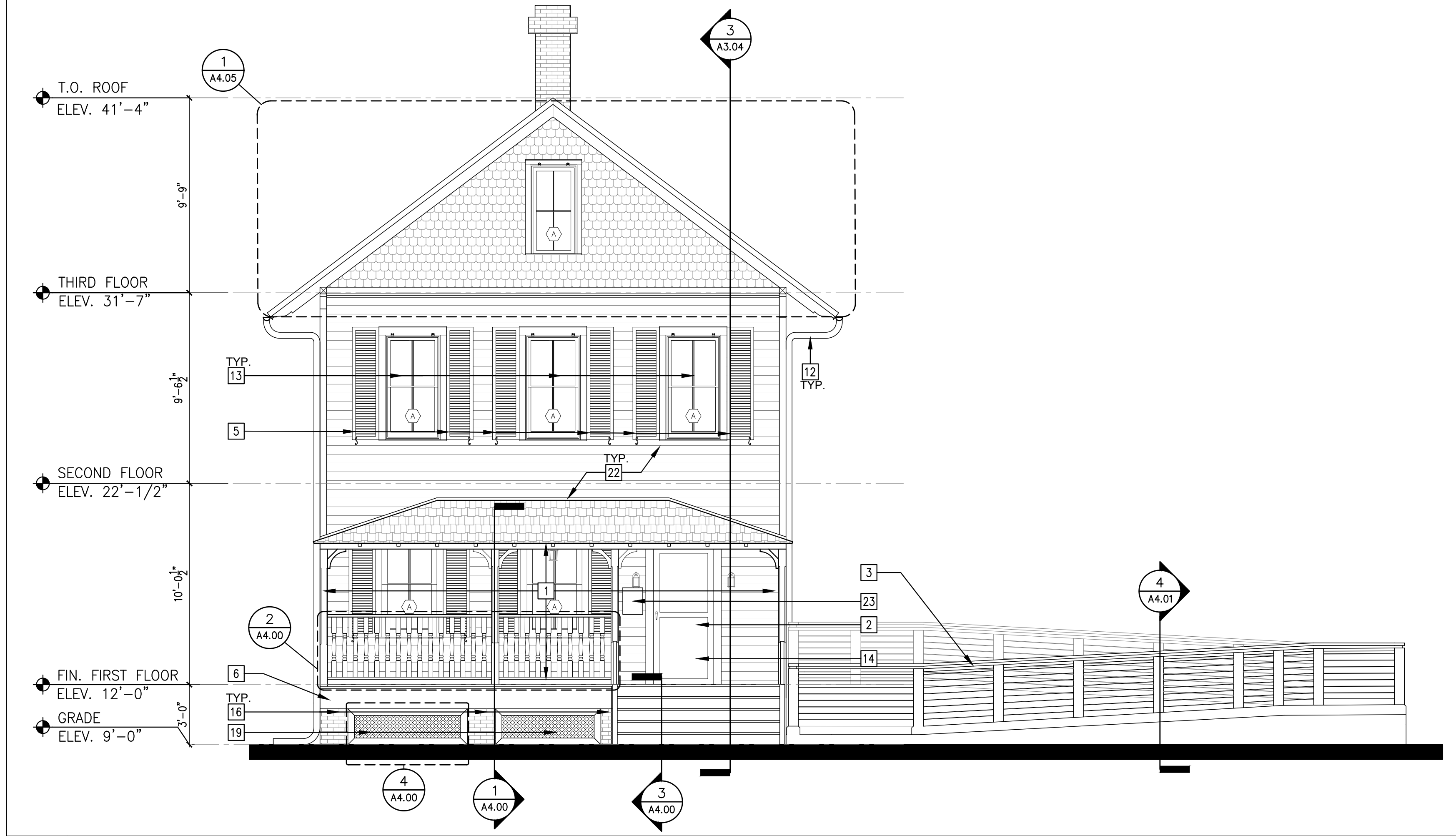




1. REMOVE EXISTING PLYWOOD, METAL PANELS AND ASSOCIATED MOUNTING HARDWARE INCLUDING NAILS.
2. REMOVE EXISTING PORCH STRUCTURE (COLUMNS, BALUSTRADE, STAIR AND FLOOR FRAMING) AND INSTALL TEMPORARY SHORING TO SUPPORT THE EXISTING ROOF STRUCTURE.
3. REMOVE EXISTING SIDING AND TRIM (WINDOW AND DOOR TRIM, CORNER BOARDS AND SKIRT BOARDS), INSPECT AND REPLACE ANY ROTTED AND DAMAGED STRUCTURAL WALL FRAMING. SEE STRUCTURAL DRAWINGS.
4. REMOVE THE EXISTING ACCESSIBLE RAMP IN ITS ENTIRETY.
5. REMOVE EXISTING SHUTTERS AND ASSOCIATED HARDWARE.
6. REMOVE ALL VEGETATION FROM CONCRETE AND BRICK.
7. REMOVE INFORMATION PLAQUE. CLEAN, PROTECT AND STORE IN A SECURE LOCATION AT THE OWNER'S DIRECTION FOR REINSTALLATION UPON PROJECT COMPLETION.
8. REMOVE EXISTING ROOFING DOWN TO THE SUBSHEATHING. REPLACE ANY DAMAGED OR DETERIORATED SHEATHING. DURING THE REPLACEMENT OF SUBSHEATHING, INSPECT THE ROOF RAFTERS BELOW FOR ROT AND DETERIORATION. IF ROT OR DETERIORATION ARE FOUND, REPLACE ROOF RAFTERS BEFORE INSTALLING NEW SHEATHING. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
9. NOT USED.
10. REMOVE NON-ORIGINAL EXISTING WOOD WINDOWS, TRIM AND SCREENS.
11. REMOVE NON-ORIGINAL EXISTING DOORS AND TRIM.
12. NOT USED.
13. REMOVE METAL ACCESSORY, STAIR STRUCTURE, CONCRETE SLAB AND MISC. FLASHING/WEATHERPROOFING IN ITS ENTIRETY.
14. REMOVE EXCESS MATERIALS, SUCH AS PVC PIPE AND LATTICEWORK.
15. REMOVE EXISTING ELECTRICAL CONDUIT, LAMP POSTS, AND LIGHT FIXTURES ON WALL.
16. REMOVE SHEET METAL PANELS BETWEEN BRICK PIERS.
17. REMOVE EXISTING PORCH BRACKETS, PROTECT AND STORE IN A SECURE LOCATION AT THE OWNER'S DIRECTION FOR REINSTALLATION. INSTALL NEW TO MATCH EXISTING WHERE DAMAGED OR BROKEN.
18. REMOVE BARS.
19. REMOVE EXISTING TRIM AND ROOF BRACKETS AND SALVAGE FOR REINSTALLATION.

**1 EXISTING EAST ELEVATION - SELECTIVE DEMO**  
SCALE: 1/4" = 1'-0"

**2 DEMO KEYNOTES**



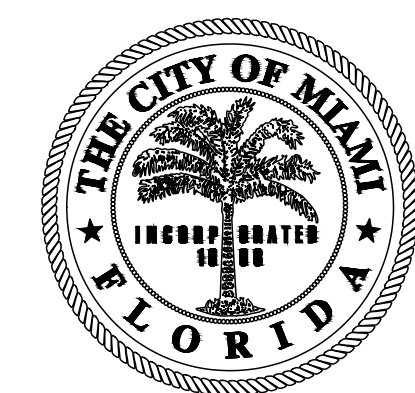
1. CONSTRUCT NEW WOOD PORCH AS SHOWN TO MATCH EXISTING IN DIMENSIONS AND PROFILES (COLUMNS, STAIRS, BALUSTRADE FLOORING). GIVE CARE TO MATCH DETAILING SIMILAR TO THE CHAMFERED COLUMN CORNERS. SEE DETAIL 2 SHEET 4.02 FOR MORE INFORMATION.
2. INSTALL NEW "SCREEN TIGHT" WOODCRAFT DOOR. SCREEN TIGHT : ONE BETTER WAY GEORGETOWN, SC 29440 PHONE: (800) 768-7325
3. CONSTRUCT NEW ADA ACCESSIBLE RAMP WITH GUARDRAILS AND HANDRAILS. SEE SHEET A4.01 AND A4.02.
4. CONSTRUCT NEW CONCRETE STAIRS WITH GUARDRAILS AND HANDRAILS. SEE SHEET A4.01.
5. INSTALL NEW BROSCO CLASSIC COLLECTION STANDARD FAUX LOUVER. PAINT USING BENJAMIN MOORE PEALE GREEN HC-121.
6. INSTALL NEW 7-1/2" WOOD SKIRT BOARD WITH 1-1/4" DRIP EDGE. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
7. INSTALL NEW QUARTER-ROUND TRIM TO MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
8. INSTALL NEW WOOD TRIM BOARD TO MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
9. INSTALL NEW 2X4" WOOD CORNICE TRIM. MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
10. INSTALL NEW 4-3/4" WOOD CORNER BOARDS TO MATCH EXISTING. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
11. INSTALL NEW 18" WATKINS SAWMILLS CERTIGRADE RED CEDAR SHINGLE ROOFING AND ASSOCIATED COPPER FLASHING. REPLACE EXISTING FLASHING AT CHIMNEY WITH NEW COPPER FLASHING. SEE SHEET A4.06.
12. INSTALL NEW 6" HALF-ROUND GALVANIZED GUTTER AND DOWNSPOUT SYSTEM - SPHERICAL COPPER END CAPS AND COPPER ROOF HANGERS.
13. INSTALL NEW IMPACT RESISTANT, ALUMINUM-CLAD WOOD WINDOWS, NEW WOOD WINDOW TRIM AND NEW WOOD SCREEN WITH HARDWARE TO MATCH EXISTING. SEE SHEET A5.02.
14. INSTALL NEW IMPACT RESISTANT WOOD DOORS TO MATCH THE EXISTING. SEE SHEET A5.00 AND A5.01.
15. FILL GAPS BELOW CONCRETE SPANDRELS BETWEEN BRICK FOUNDATION PIERS WITH NEW SOIL WHERE SOIL HAS ERODED.
16. REPAIR AND RE-POINT EXISTING BRICK FOUNDATION PIERS. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
17. INSTALL NEW OCTAGONAL WALL SHINGLES ON GABLED END OF ROOF. PAINT BENJAMIN MOORE MARBLEHEAD GOLD HC-11.
18. INDICATES ARE OF NEW INFILL WALL FRAMING. PROVIDE NEW INFILL WALL CONSTRUCTION TO MATCH EXISTING FRAMING. FINISH WITH NEW WOOD WINDOW, WOOD SIDING AND WOOD TRIM TO MATCH EXISTING. PAINT SIDING BENJAMIN MOORE MARBLEHEAD GOLD HC-11. PAINT TRIM BENJAMIN MOORE MONTEREY WHITE HC-27.
19. INSTALL NEW TREX CPVC LATTICE BETWEEN BRICK FOUNDATION PIERS. SEE DETAIL 4 ON SHEET A4.02.
20. EXISTING WOOD RAFTER TAILS @ 24" O.C. (V.I.F) TO REMAIN. REPLACE AS REQUIRED. RAFTER TAILS REQUIRING REPLACEMENT SEE DETAIL A ON A4.06.
21. INSTALL SALVAGED TRIM AND ROOF BRACKETS. INSTALL NEW TO MATCH EXISTING WHERE DAMAGED, BEYOND REPAIR OR BROKEN. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
22. INSTALL NEW CLAYMARK "CENTURION" WOOD SIDING WITH TRUECORE PROTECTION TO MATCH EXISTING. PAINT BENJAMIN MOORE MARBLEHEAD GOLD HC-11.
23. REINSTALL INFORMATION PLAQUE.

	EXISTING TO BE REMOVED
	EXISTING TO REMAIN
	NEW DRYWALL PARTITION
	BRICK

**3 PROPOSED EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**4 PROPOSED KEYNOTES**

**5 LEGEND**



**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**  
SELECTIVE DEMOLITION & RESTORATION  
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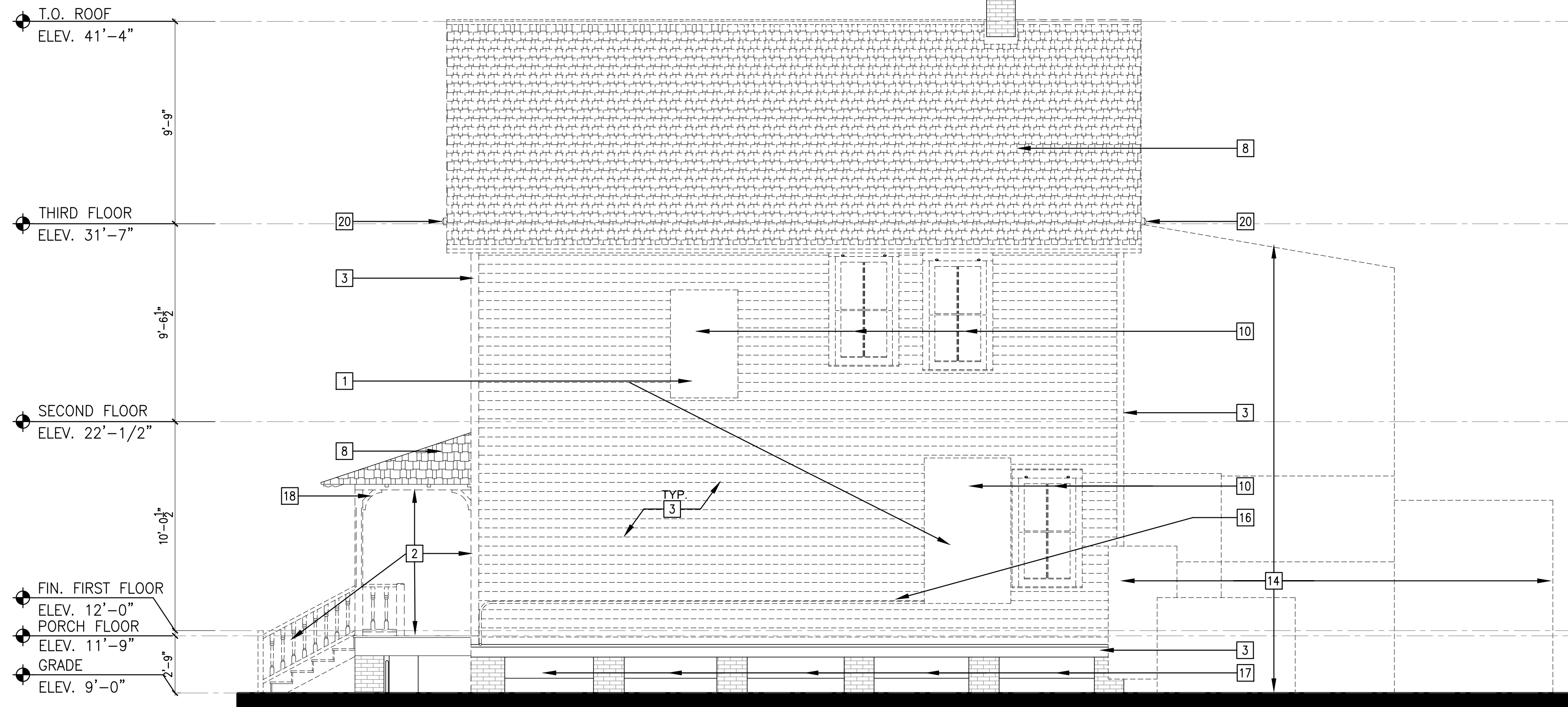
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FLORIDA REGISTRATION NUMBER: AR 0010865

**EXISTING EAST ELEVATION - SELECTIVE DEMO AND PROPOSED EAST ELEVATION**

PROJECT NO. B-193404  
DRAWING NO.

**A3.00**



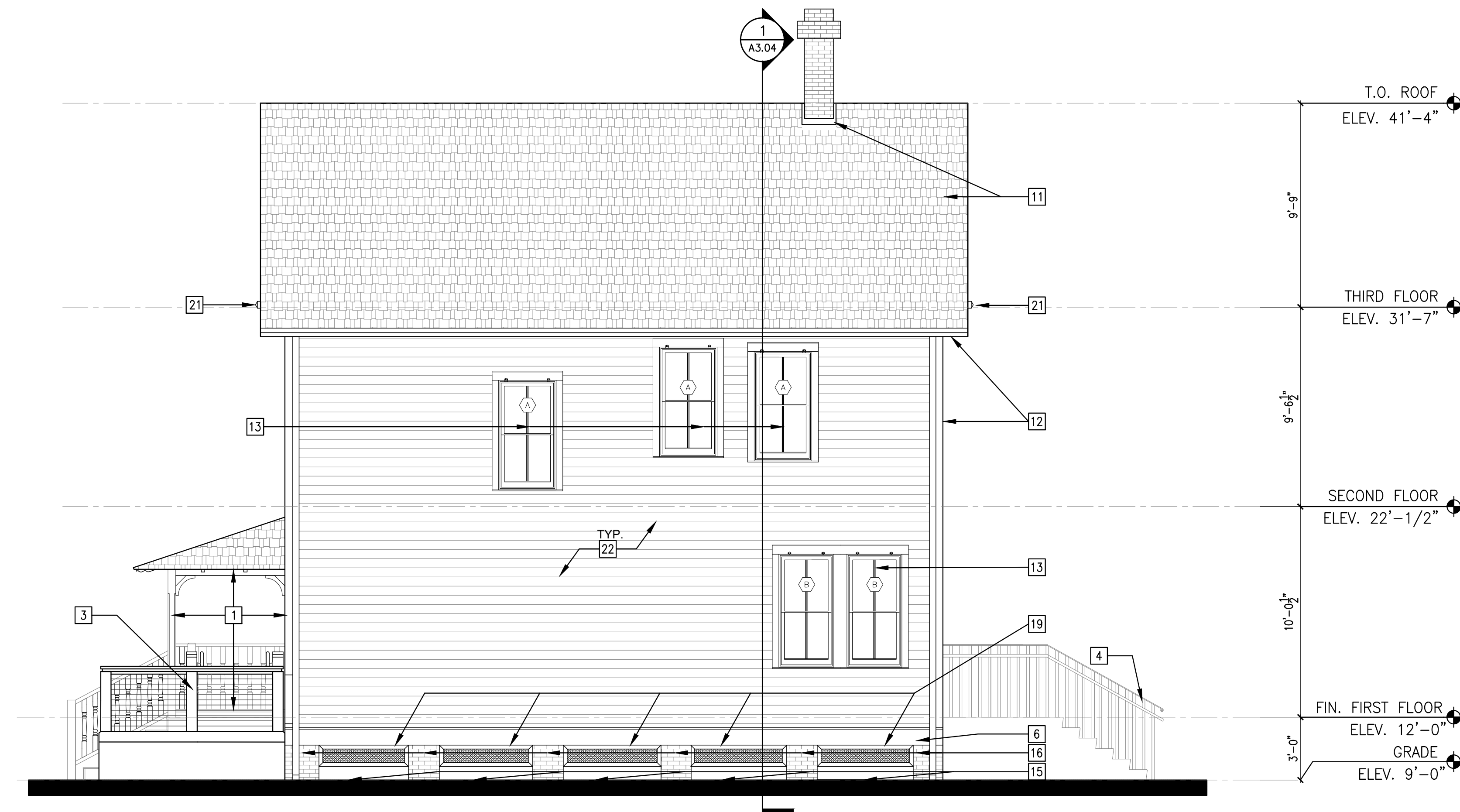


1. REMOVE EXISTING PLYWOOD, METAL PANELS AND ASSOCIATED MOUNTING HARDWARE INCLUDING NAILS.
2. REMOVE EXISTING PORCH STRUCTURE (COLUMNS, BALUSTRADE, STAIR AND FLOOR FRAMING) AND INSTALL TEMPORARY SHORING TO SUPPORT THE EXISTING ROOF STRUCTURE.
3. REMOVE EXISTING SIDING AND TRIM (WINDOW AND DOOR TRIM, CORNER BOARDS AND SKIRT BOARDS), INSPECT AND REPLACE ANY ROTTED AND DAMAGED STRUCTURAL WALL FRAMING. SEE STRUCTURAL DRAWINGS.
4. REMOVE THE EXISTING ACCESSIBLE RAMP IN ITS ENTIRETY.
5. REMOVE EXISTING SHUTTERS AND ASSOCIATED HARDWARE.
6. REMOVE ALL VEGETATION FROM CONCRETE AND BRICK.
7. REMOVE INFORMATION PLAQUE, CLEAN, PROTECT, AND STORE IN A SECURE LOCATION AT THE OWNER'S DIRECTION FOR REINSTALLATION UPON PROJECT COMPLETION.
8. REMOVE EXISTING ROOFING DOWN TO THE SUBSHEATHING. REPLACE ANY DAMAGED OR DETERIORATED SHEATHING. DURING THE REPLACEMENT OF SUBSHEATHING, INSPECT THE ROOF RAFTERS BELOW FOR ROT AND DETERIORATION. IF ROT OR DETERIORATION ARE FOUND, REPLACE ROOF RAFTERS BEFORE INSTALLING NEW SHEATHING. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
9. NOT USED.
10. REMOVE NON-ORIGINAL EXISTING WOOD WINDOWS, TRIM AND SCREENS.
11. REMOVE NON-ORIGINAL EXISTING DOORS AND TRIM.
12. NOT USED.
13. REMOVE METAL ACCESSORY, STAIR STRUCTURE, CONCRETE SLAB AND MISC. FLASHING/WEATHERPROOFING IN ITS ENTIRETY.
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16. REMOVE SHEET METAL PANELS BETWEEN BRICK PIERS.
17. REMOVE EXISTING PORCH BRACKETS, PROTECT AND STORE IN A SECURE LOCATION AT THE OWNER'S DIRECTION FOR REINSTALLATION. INSTALL NEW TO MATCH EXISTING WHERE DAMAGED OR BROKEN.
18. REMOVE RARS.

**1 EXISTING NORTH ELEVATION - SELECTIVE DEMO**

**2 DEMO KEYNOTES**

SCALE: 1/4" = 1'-0"



1. CONSTRUCT NEW WOOD PORCH AS SHOWN TO MATCH EXISTING IN DIMENSIONS AND PROFILES (COLUMNS, STAIRS, BALUSTRADE FLOORING). GIVE CARE TO MATCH DETAILING SIMILAR TO THE CHAMFERED COLUMN CORNERS. SEE DETAIL 2 SHEET 4.02 FOR MORE INFORMATION.
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23. REINSTALL INFORMATION PLAQUE.

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW DRYWALL PARTITION
- BRICK

**3 PROPOSED NORTH ELEVATION**

**4 PROPOSED KEYNOTES**

**5 LEGEND**

SCALE: 1/4" = 1'-0"



**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**

SELECTIVE DEMOLITION & RESTORATION  
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NO.	REVISIONS/SUBMISSIONS	DATE
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**PROJECT TEAM**

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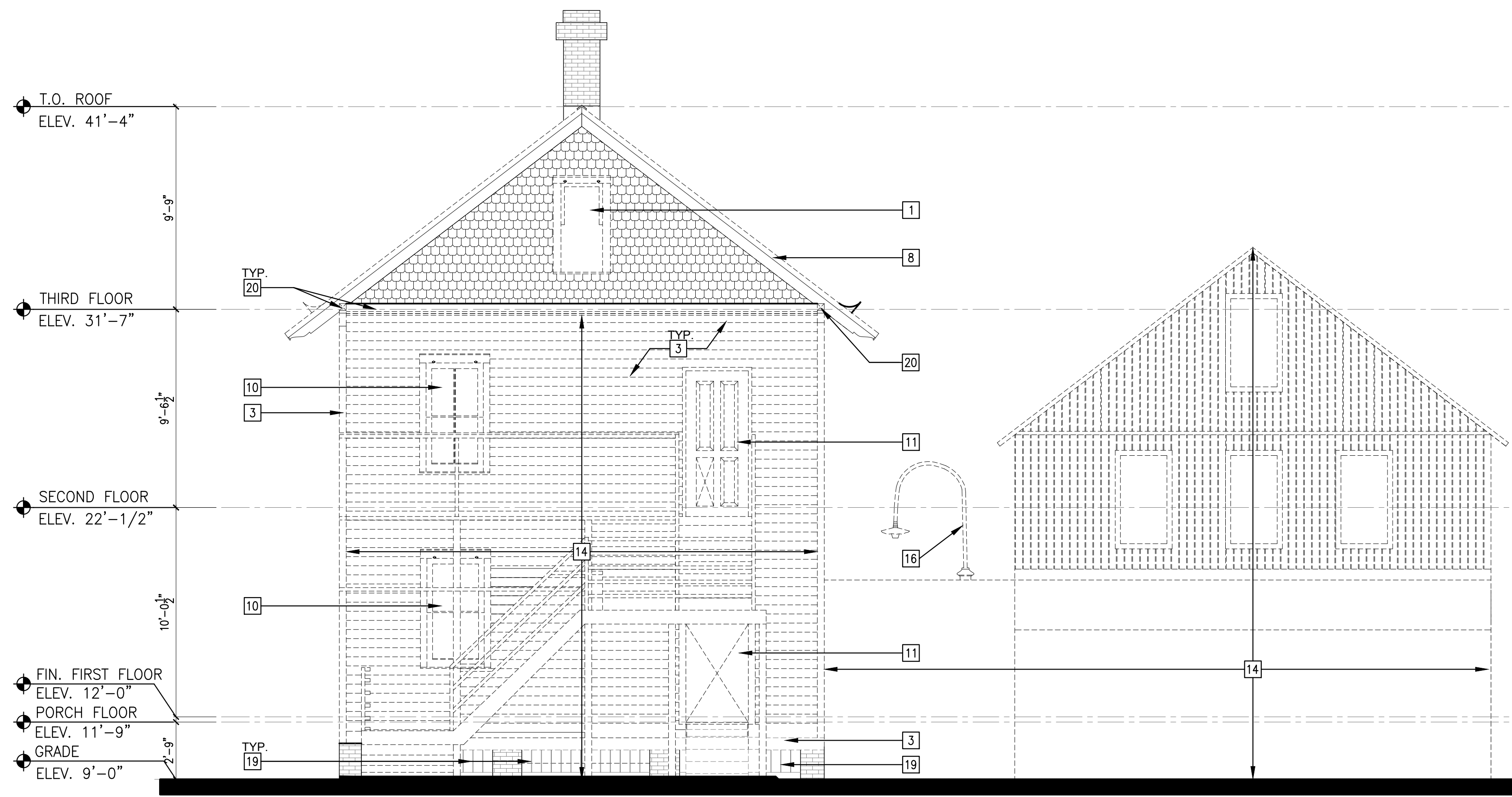
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**EXISTING NORTH ELEVATION - SELECTIVE DEMO AND PROPOSED NORTH ELEVATION**

PROJECT NO. B-193404  
DRAWING NO.

**A3.01**





1. REMOVE EXISTING PLYWOOD, METAL PANELS AND ASSOCIATED MOUNTING HARDWARE INCLUDING NAILS.
2. REMOVE EXISTING PORCH STRUCTURE (COLUMNS, BALUSTRADE, STAIR AND FLOOR FRAMING) AND INSTALL TEMPORARY SHORING TO SUPPORT THE EXISTING ROOF STRUCTURE.
3. REMOVE EXISTING SIDING AND TRIM (WINDOW AND DOOR TRIM, CORNER BOARDS AND SKIRT BOARDS), INSPECT AND REPLACE ANY ROTTED AND DAMAGED STRUCTURAL WALL FRAMING. SEE STRUCTURAL DRAWINGS.
4. REMOVE THE EXISTING ACCESSIBLE RAMP IN ITS ENTIRETY.
5. REMOVE EXISTING SHUTTERS AND ASSOCIATED HARDWARE.
6. REMOVE ALL VEGETATION FROM CONCRETE AND BRICK.
7. REMOVE INFORMATION PLAQUE, CLEAN, PROTECT, AND STORE IN A SECURE LOCATION AT THE OWNER'S DIRECTION FOR REINSTALLATION UPON PROJECT COMPLETION.
8. REMOVE EXISTING ROOFING DOWN TO THE SUBSHEATHING. REPLACE ANY DAMAGED OR DETERIORATED SHEATHING. DURING THE REPLACEMENT OF SUBSHEATHING, INSPECT THE ROOF RAFTERS BELOW FOR ROT AND DETERIORATION. IF ROT OR DETERIORATION ARE FOUND, REPLACE ROOF RAFTERS BEFORE INSTALLING NEW SHEATHING. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
9. NOT USED.
10. REMOVE NON-ORIGINAL EXISTING WOOD WINDOWS, TRIM AND SCREENS.
11. REMOVE NON-ORIGINAL EXISTING DOORS AND TRIM.
12. NOT USED.
13. REMOVE METAL ACCESSORY, STAIR STRUCTURE, CONCRETE SLAB AND MISC. FLASHING/WEATHERPROOFING IN ITS ENTIRETY.
14. REMOVE EXCESS MATERIALS, SUCH AS PVC PIPE AND LATTICEWORK.
15. REMOVE EXISTING ELECTRICAL CONDUIT, LAMP POSTS, AND LIGHT FIXTURES ON WALL.
16. REMOVE SHEET METAL PANELS BETWEEN BRICK PIERS.
17. REMOVE EXISTING PORCH BRACKETS, PROTECT AND STORE IN A SECURE LOCATION AT THE OWNER'S DIRECTION FOR REINSTALLATION. INSTALL NEW TO MATCH EXISTING WHERE DAMAGED OR BROKEN.
18. REMOVE BARS.
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**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**  
 SELECTIVE DEMOLITION & RESTORATION  
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OWNER:  
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 444 SW 2ND ST. 8TH FLOOR  
 MIAMI, FLORIDA 33130-1910

**1 EXISTING WEST ELEVATION - SELECTIVE DEMO**

**2 DEMO KEYNOTES**

SCALE: 1/4" = 1'-0"

NO.	REVISIONS/SUBMISSIONS	DATE
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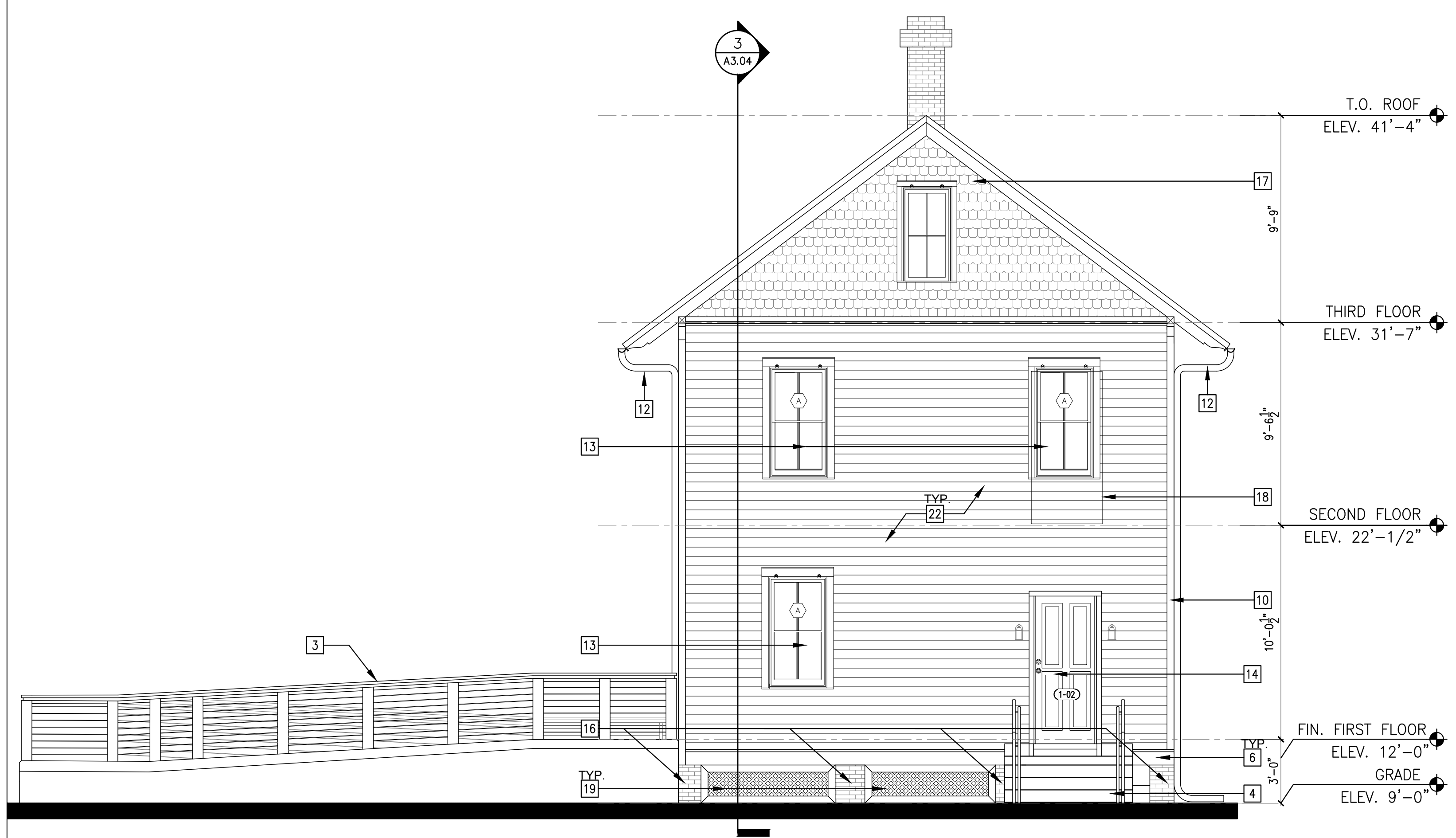
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SHEET TITLE

**EXISTING WEST ELEVATION  
 SELECTIVE DEMO AND  
 PROPOSED WEST ELEVATION**

PROJECT NO. B-193404  
 DRAWING NO.



1. CONSTRUCT NEW WOOD PORCH AS SHOWN TO MATCH EXISTING IN DIMENSIONS AND PROFILES (COLUMNS, STAIRS, BALUSTRADE FLOORING). GIVE CARE TO MATCH DETAILING SIMILAR TO THE CHAMFERED COLUMN CORNERS. SEE DETAIL 2 SHEET 4.02 FOR MORE INFORMATION.
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6. INSTALL NEW 7-1/2" WOOD SKIRT BOARD WITH 1-1/4" DRIP EDGE. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
7. INSTALL NEW QUARTER-ROUND TRIM TO MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
8. INSTALL NEW WOOD TRIM BOARD TO MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
9. INSTALL NEW 2X4" WOOD CORNICE TRIM. MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
10. INSTALL NEW 4-3/4" WOOD CORNER BOARDS TO MATCH EXISTING. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
11. INSTALL NEW 18" WATKINS SAWMILLS CERTIGRADE RED CEDAR SHINGLE ROOFING AND ASSOCIATED COPPER FLASHING. REPLACE EXISTING FLASHING AT CHIMNEY WITH NEW COPPER FLASHING. SEE SHEET A4.06.
12. INSTALL NEW 6" HALF-ROUND GALVANIZED GUTTER AND DOWNSPOUT SYSTEM - SPHERICAL COPPER END CAPS AND COPPER ROOF HANGERS.
13. INSTALL NEW IMPACT RESISTANT, ALUMINUM-CLAD WOOD WINDOWS, NEW WOOD WINDOW TRIM AND NEW WOOD SCREEN WITH HARDWARE TO MATCH EXISTING. SEE SHEET A5.02.
14. INSTALL NEW IMPACT RESISTANT WOOD DOORS TO MATCH THE EXISTING. SEE SHEET A5.00 AND A5.01.
15. FILL GAPS BELOW CONCRETE SPANDRELS BETWEEN BRICK FOUNDATION PIERS WITH NEW SOIL WHERE SOIL HAS ERODED.
16. REPAIR AND RE-POINT EXISTING BRICK FOUNDATION PIERS. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
17. INSTALL NEW OCTAGONAL WALL SHINGLES ON GABLED END OF ROOF. PAINT BENJAMIN MOORE MARBLEHEAD GOLD HC-11.
18. INDICATES ARE OF NEW INFILL WALL FRAMING. PROVIDE NEW INFILL WALL CONSTRUCTION TO MATCH EXISTING FRAMING. FINISH WITH NEW WOOD WINDOW, WOOD SIDING AND WOOD TRIM TO MATCH EXISTING. PAINT SIDING BENJAMIN MOORE MARBLEHEAD GOLD HC-11. PAINT TRIM BENJAMIN MOORE MONTEREY WHITE HC-27.
19. INSTALL NEW TREX CPVC LATTICE BETWEEN BRICK FOUNDATION PIERS. SEE DETAIL 4 ON SHEET A4.02.
20. EXISTING WOOD RAFTER TAILS @ 24" O.C. (V.I.F) TO REMAIN. REPLACE AS REQUIRED. RAFTER TAILS REQUIRING REPLACEMENT SEE DETAIL A ON A4.06.
21. INSTALL SALVAGED TRIM AND ROOF BRACKETS. INSTALL NEW TO MATCH EXISTING WHERE DAMAGED, BEYOND REPAIR OR BROKEN. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
22. INSTALL NEW CLAYMARK "CENTURIUM" WOOD SIDING WITH TRUECORE PROTECTION TO MATCH EXISTING. PAINT BENJAMIN MOORE MARBLEHEAD GOLD HC-11.
23. REINSTALL INFORMATION PLAQUE.

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW DRYWALL PARTITION
- BRICK

**3 PROPOSED WEST ELEVATION**

SCALE: 1/4" = 1'-0"

**4 PROPOSED KEYNOTES**

**5 LEGEND**

A3.02

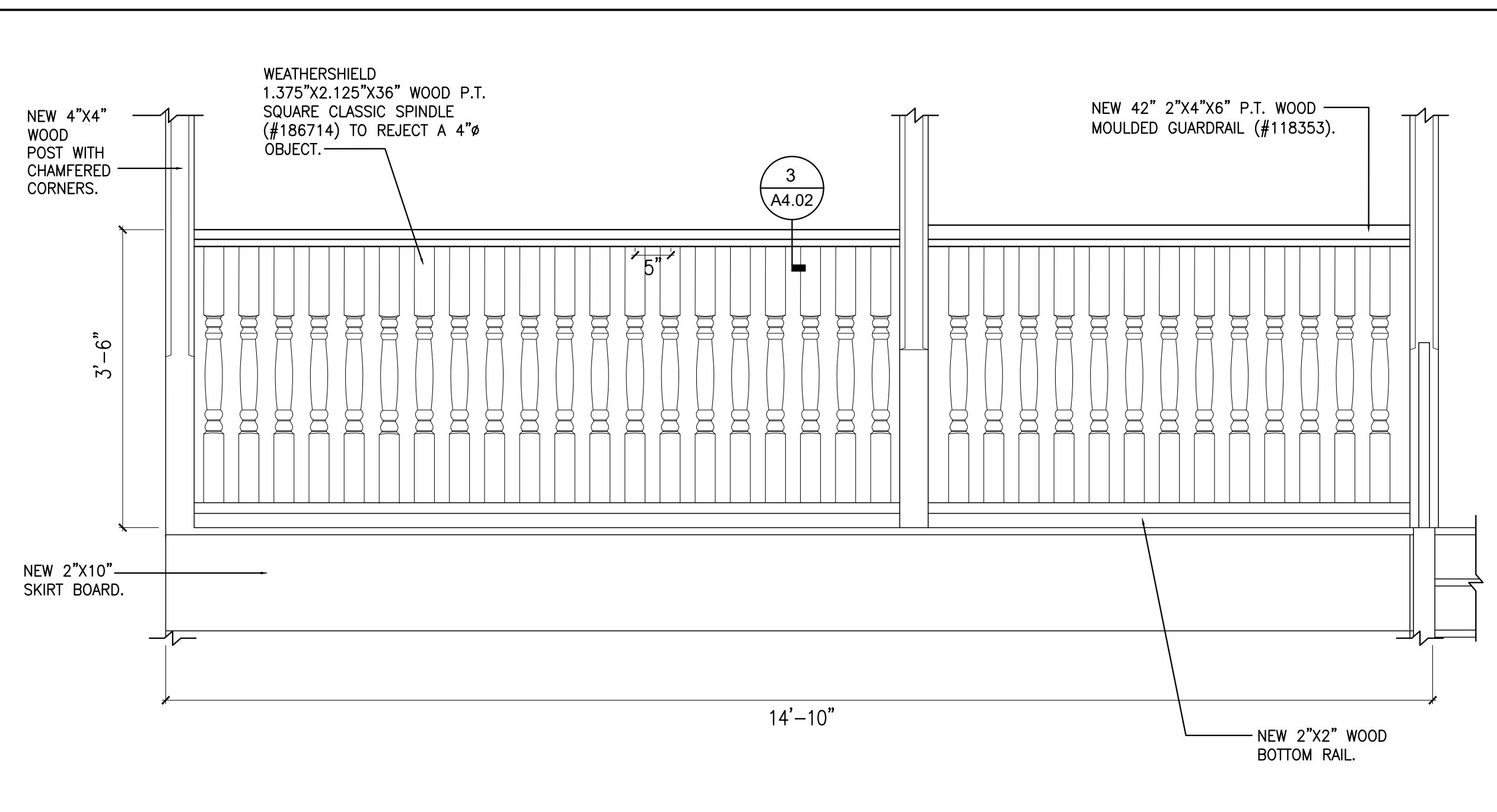
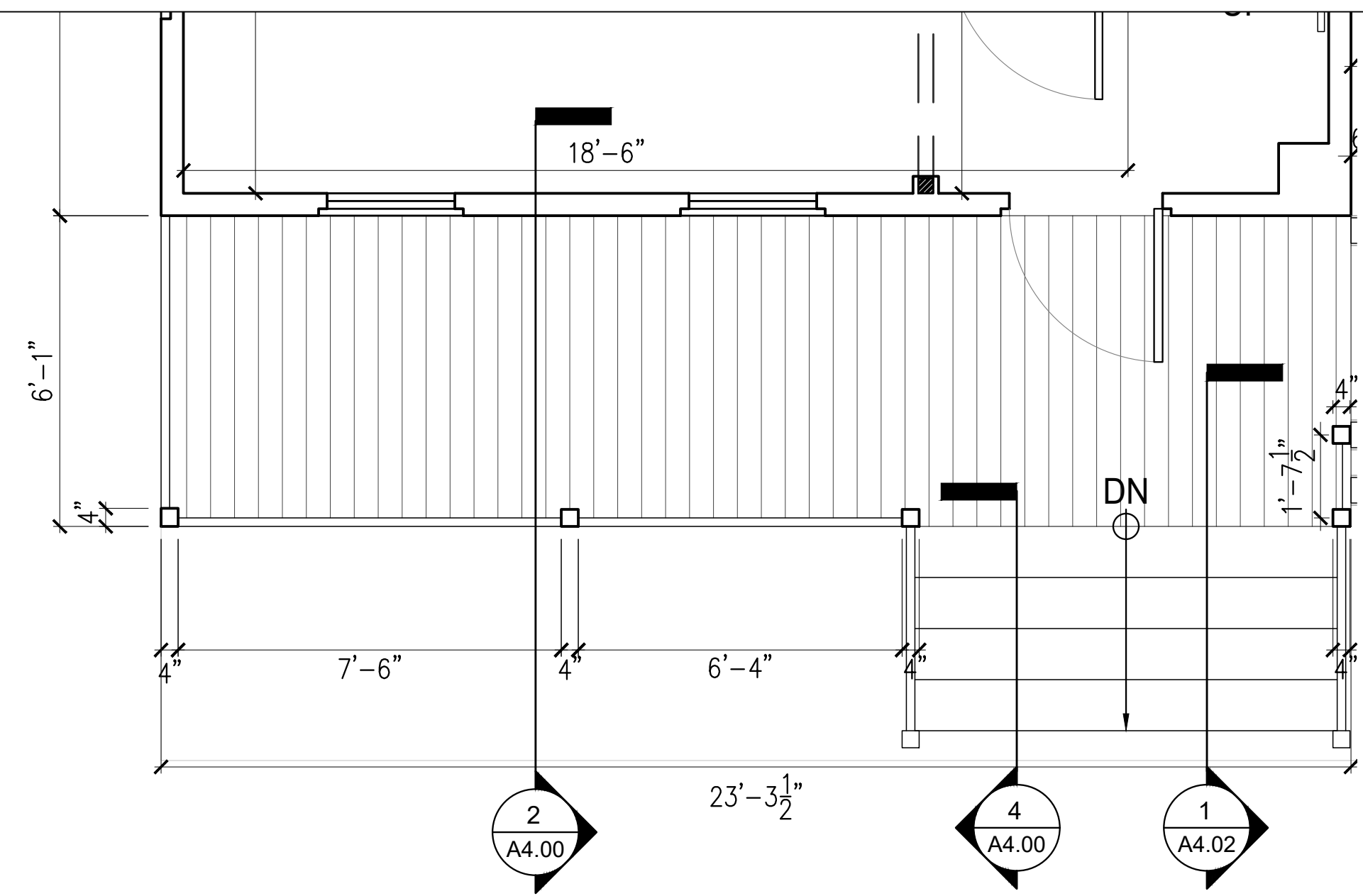






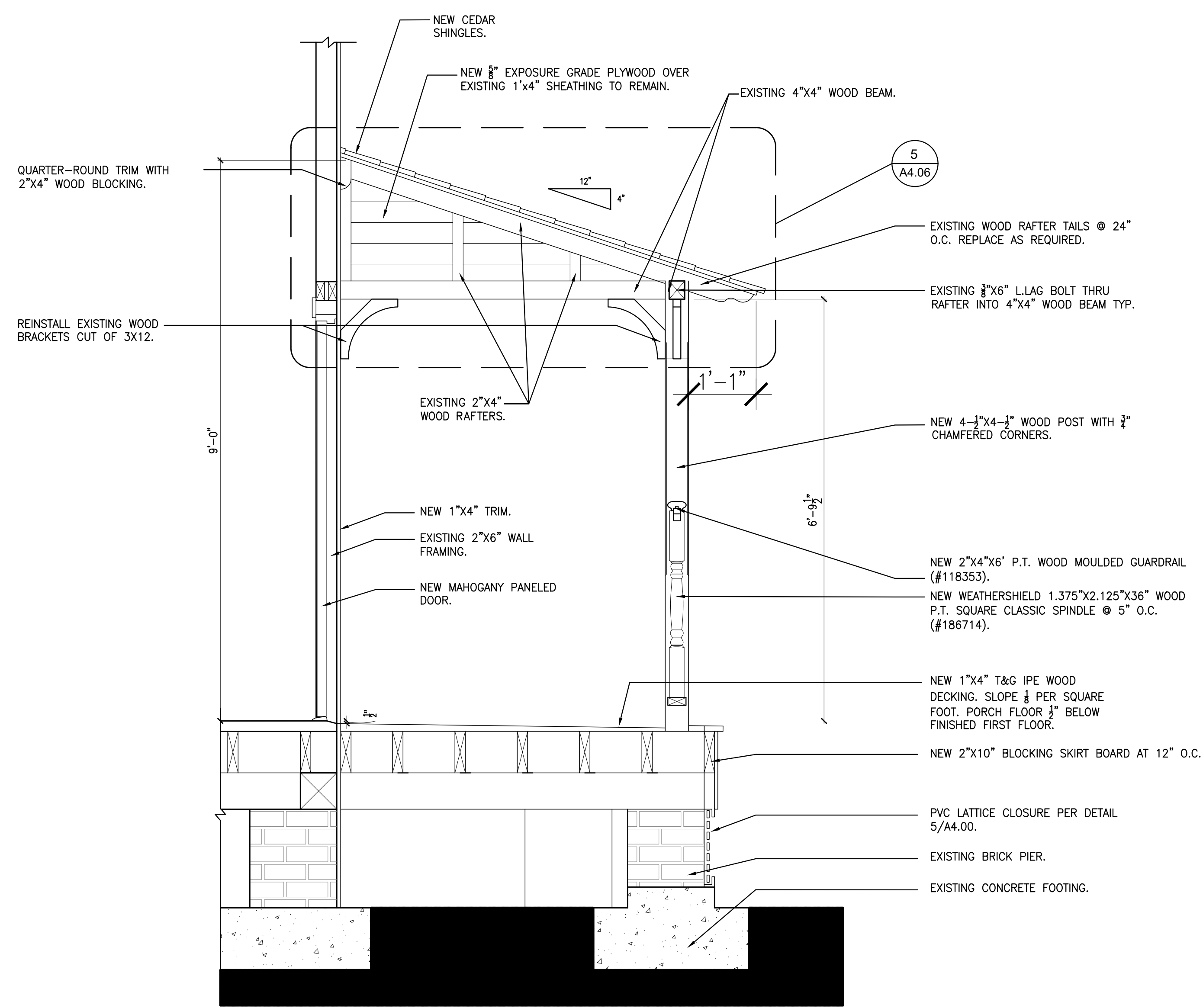




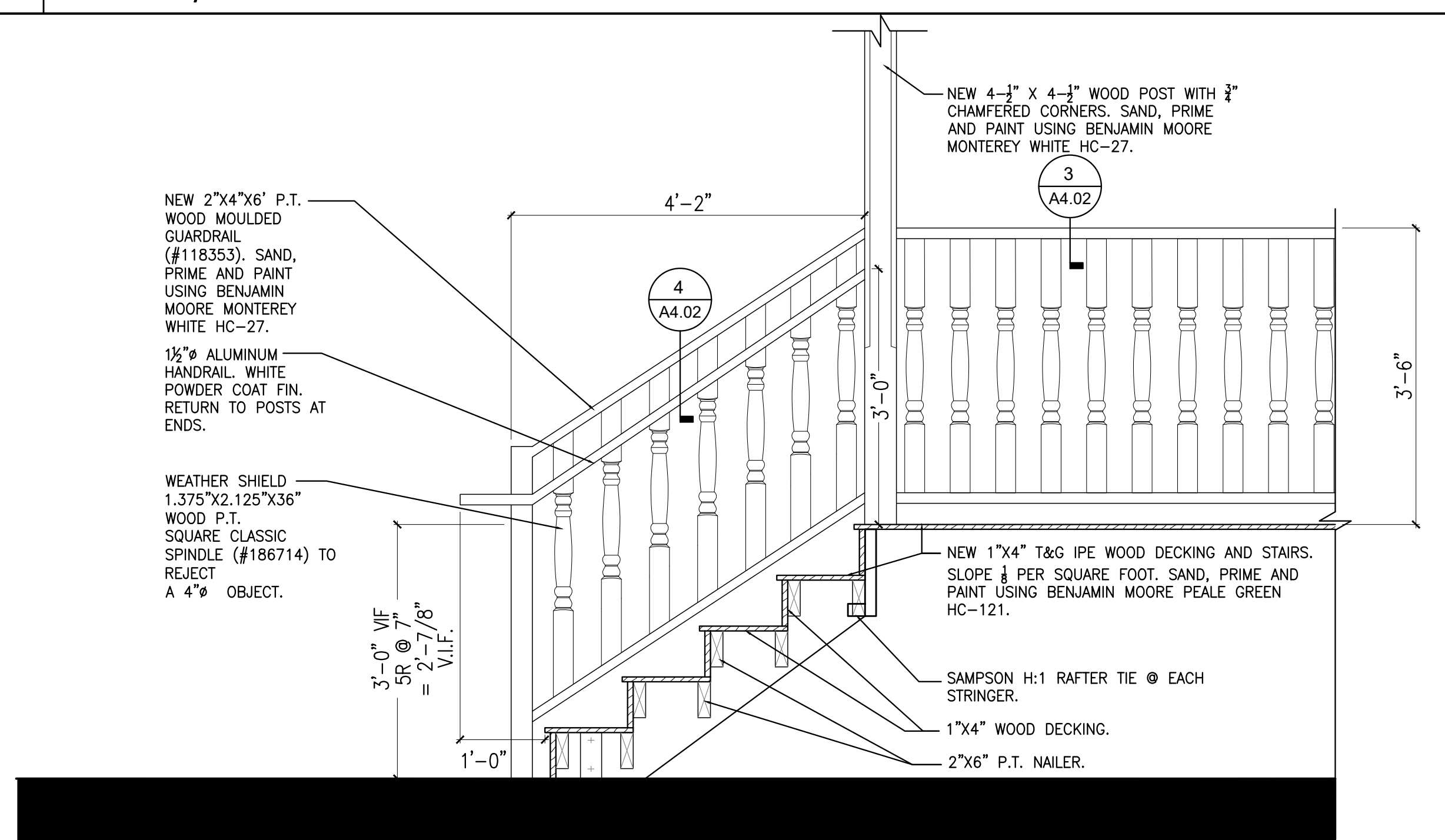


1 ENLARGED PORCH PLAN  
SCALE: 1/2" = 1'-0"

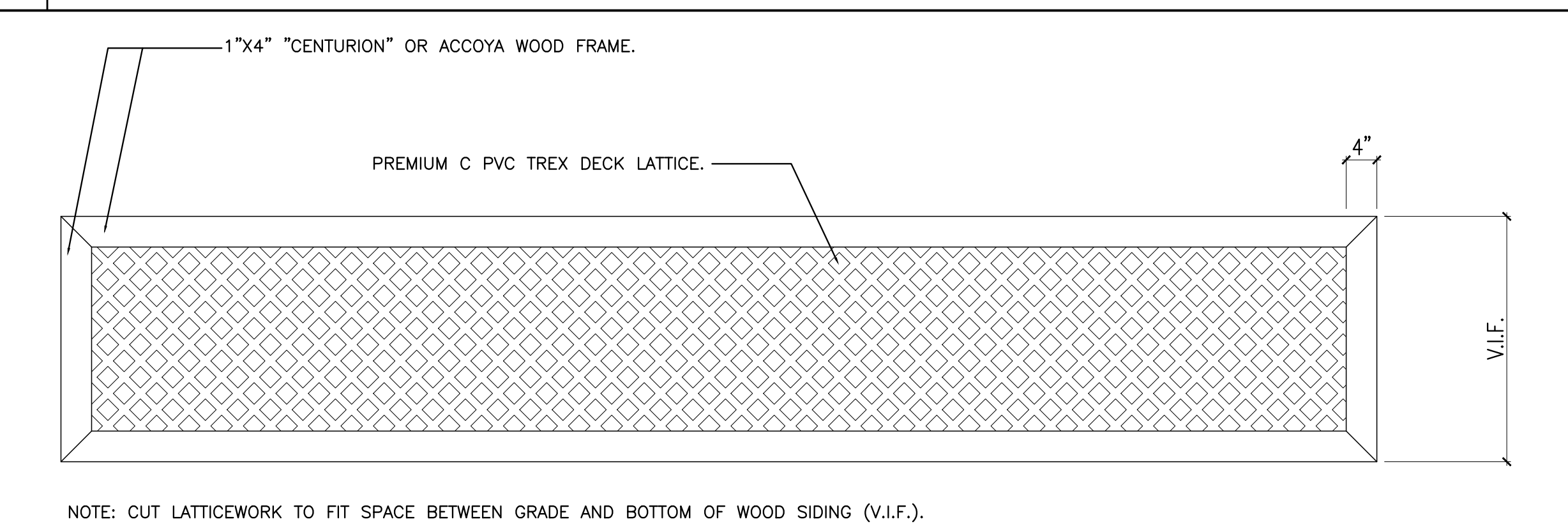
3 PORCH GUARDRAIL DETAIL  
SCALE: 3/4" = 1'-0"



2 PORCH SECTION DETAIL  
SCALE: 3/4" = 1'-0"



4 EAST PORCH STAIR  
SCALE: 3/4" = 1'-0"



5 PORCH LATTICE DETAIL  
SCALE: 3/4" = 1'-0"



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ARCHITECTURE  
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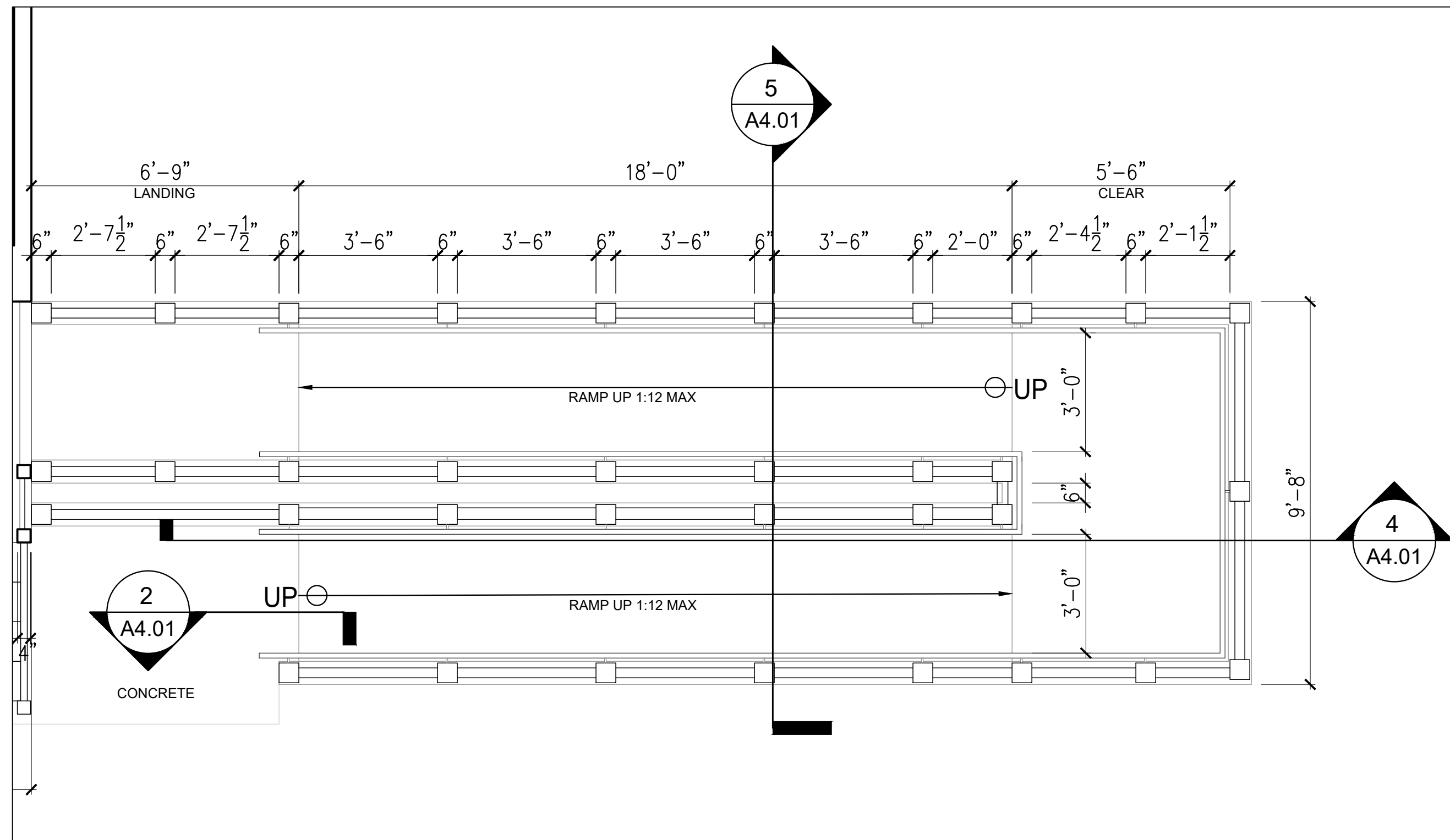
SHEET TITLE

**PORCH AND STAIR DETAILS**

PROJECT NO. B-193404  
DRAWING NO.

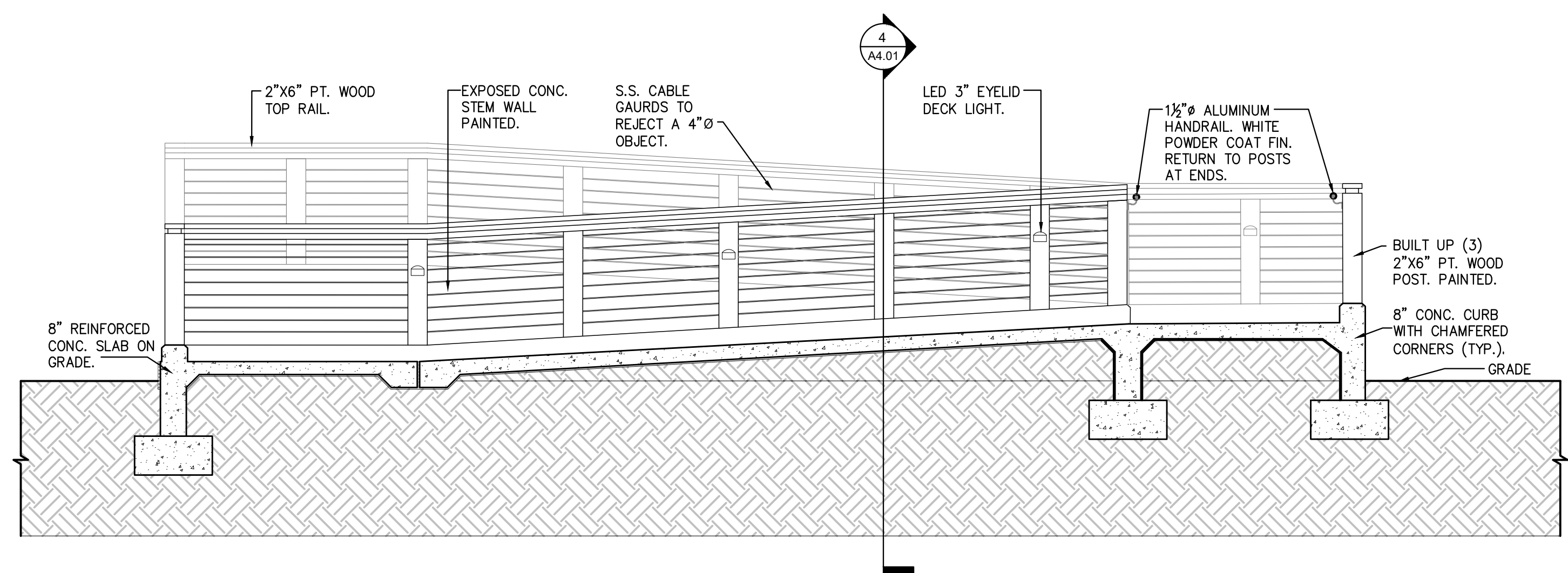
A4.00





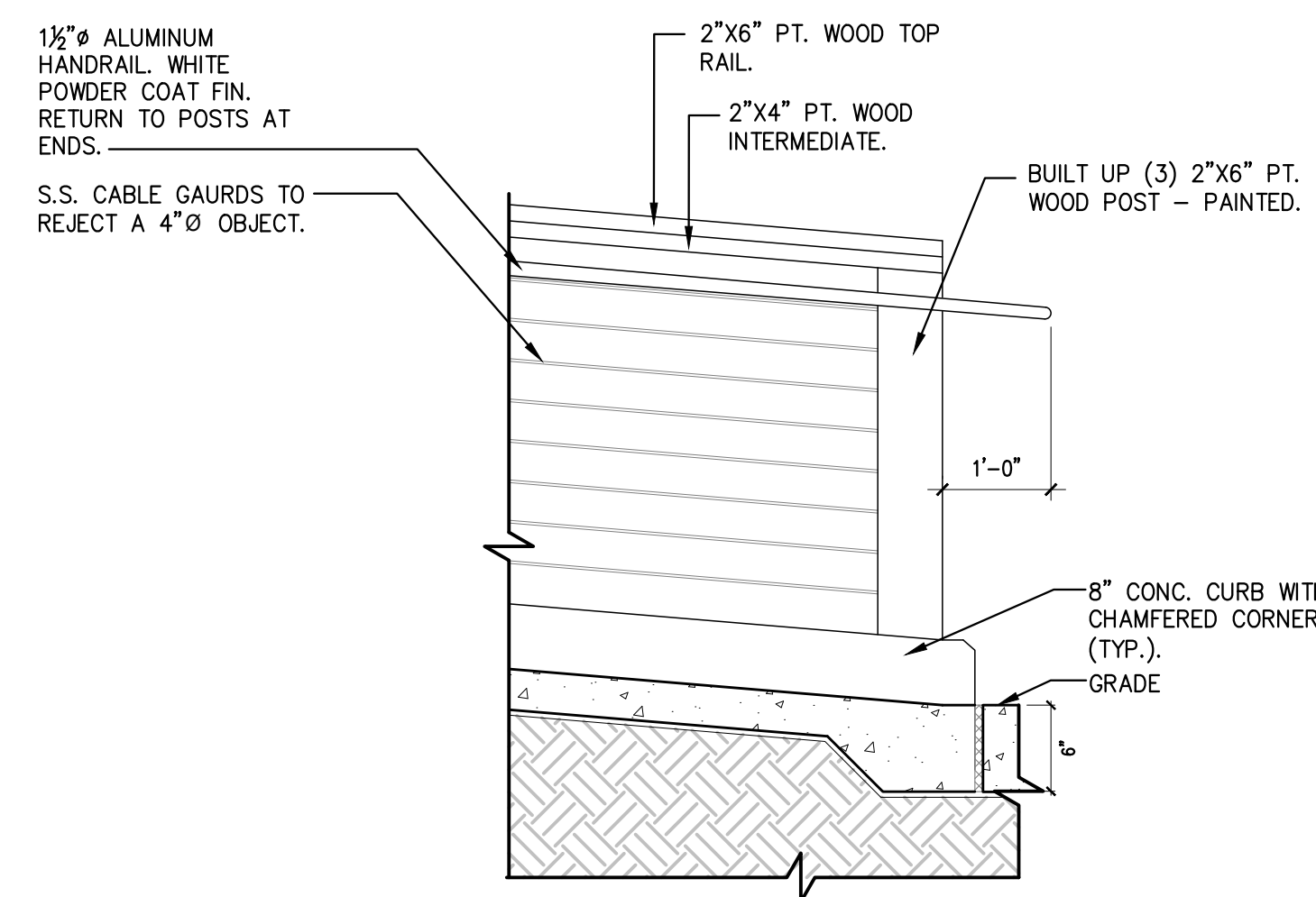
1 ENLARGED RAMP PLAN

SCALE: 3/8" = 1'-0"



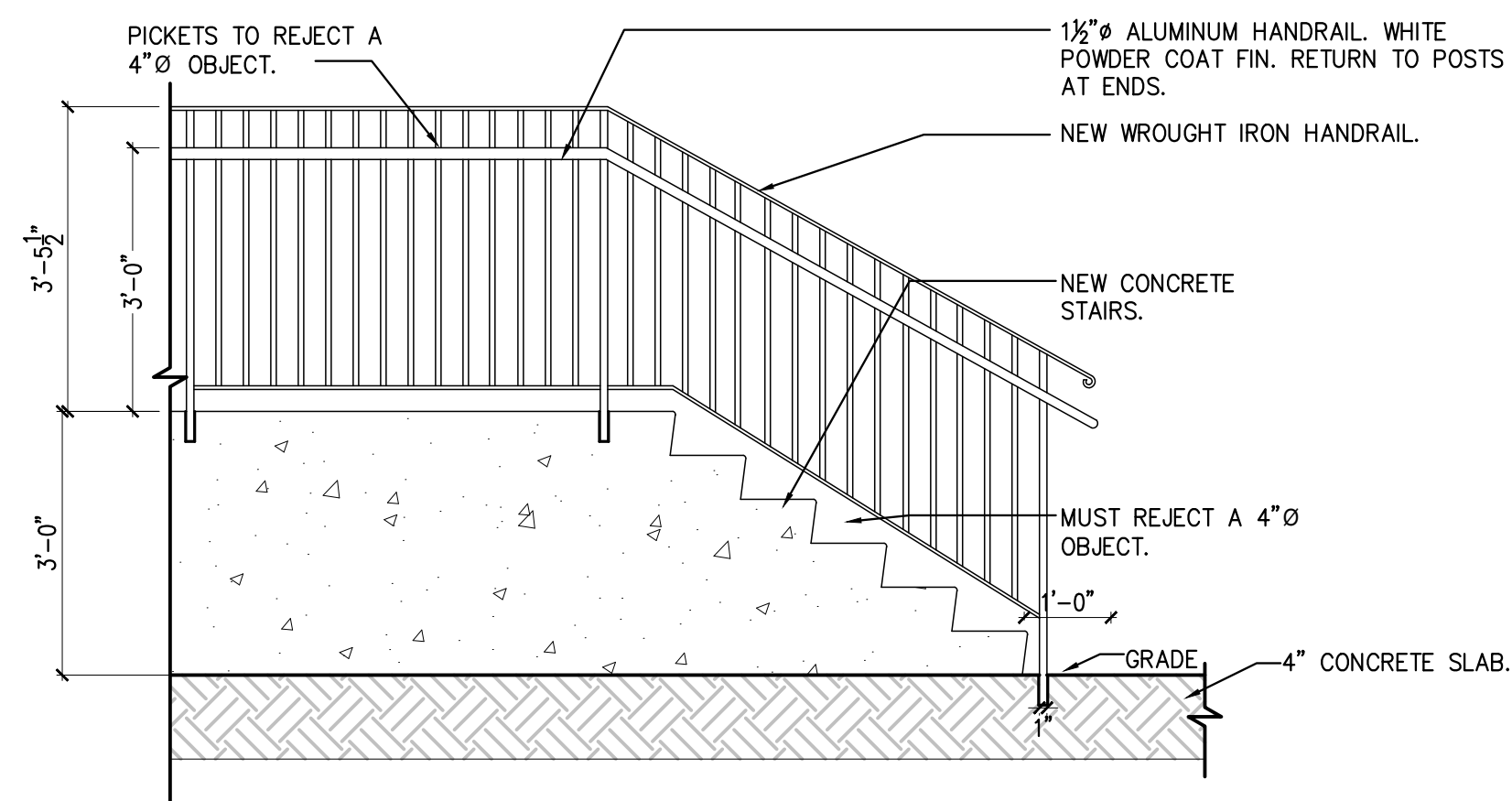
4 RAMP SECTION

SCALE: 3/8" = 1'-0"



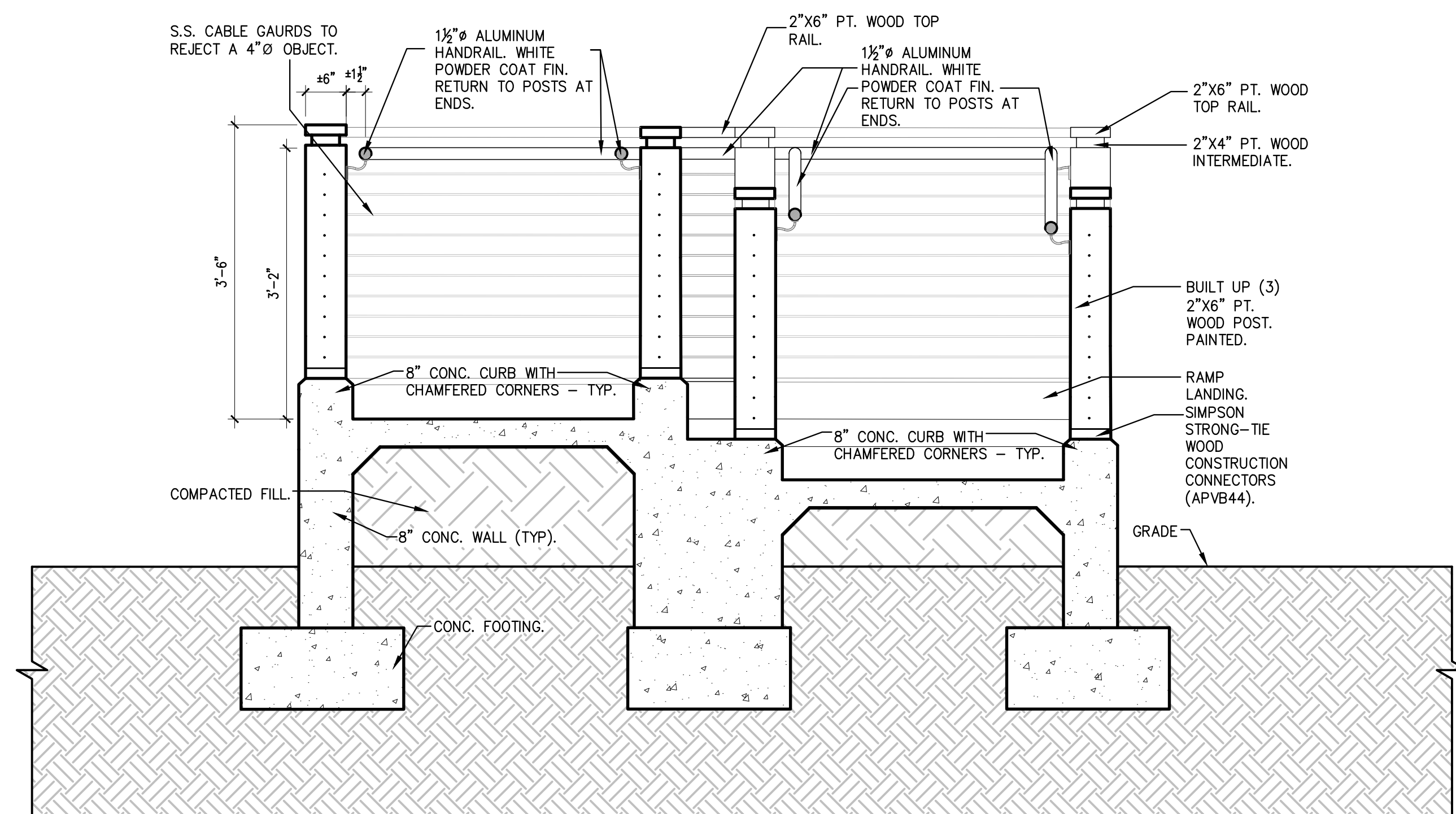
2 RAMP DETAIL

SCALE: 3/4" = 1'-0"



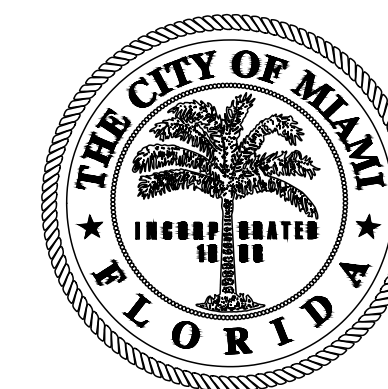
3 WEST STAIR DETAIL

SCALE: 1/2" = 1'-0"



5 RAMP CROSS SECTION

SCALE: 3/4" = 1'-0"



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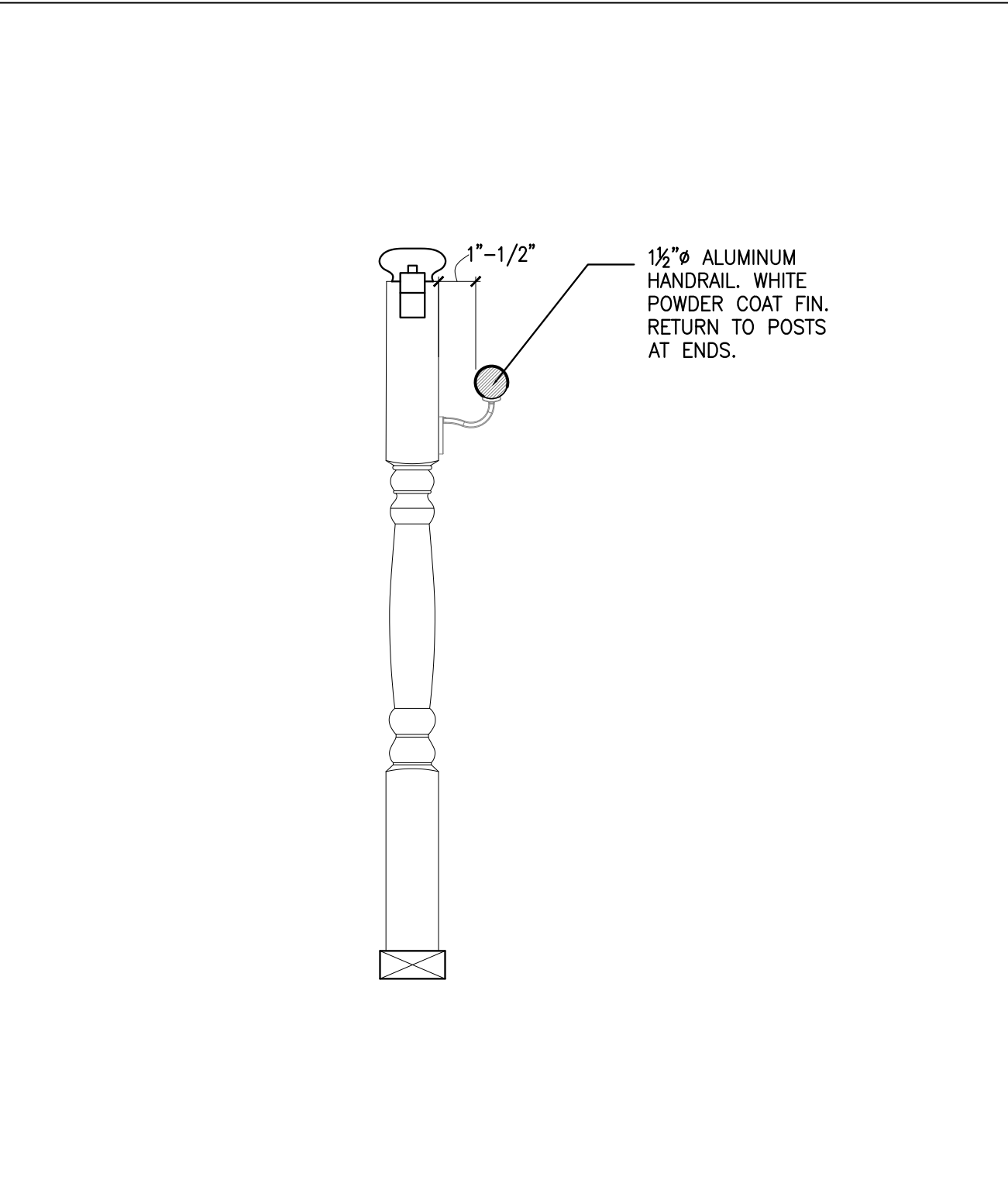
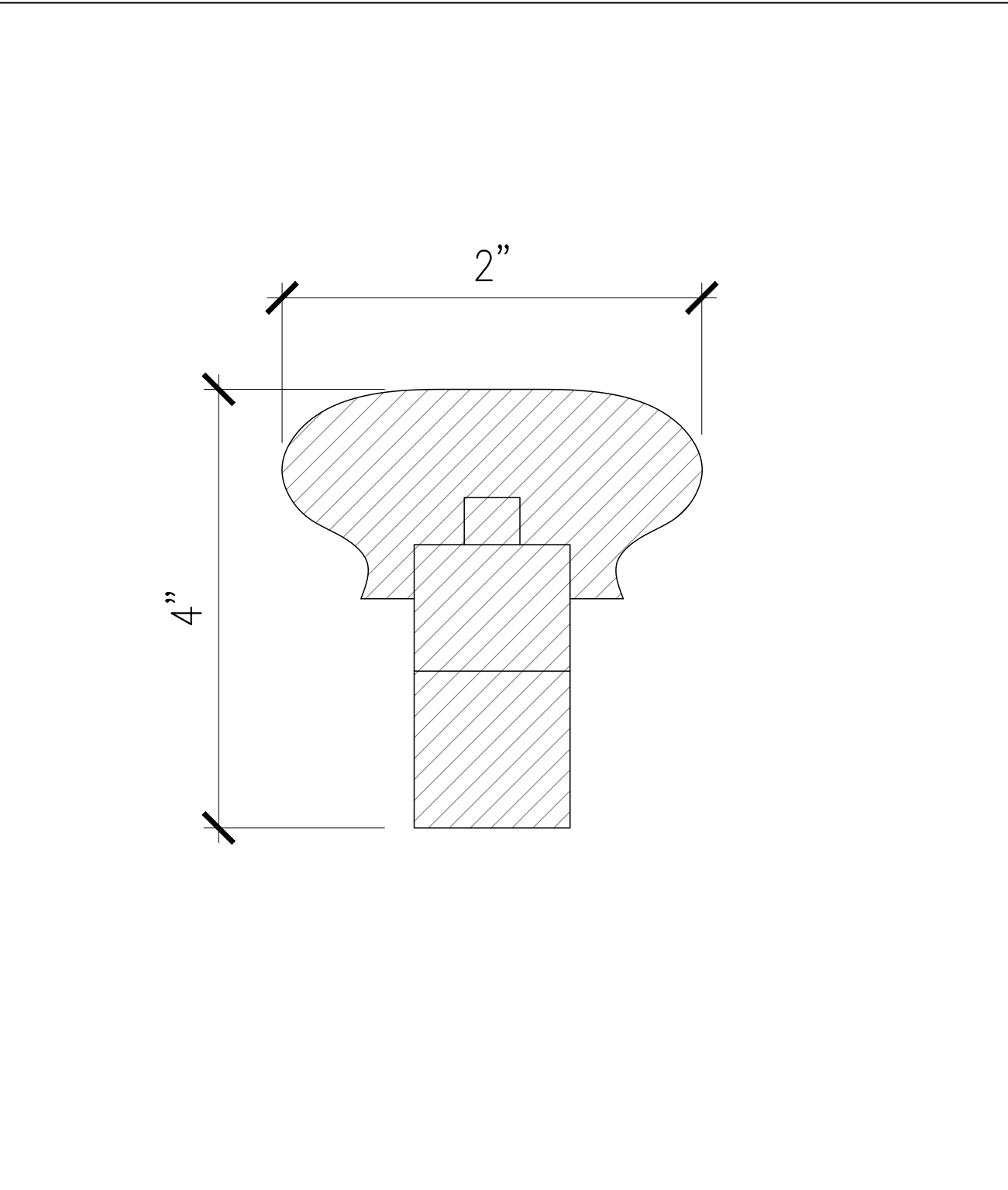
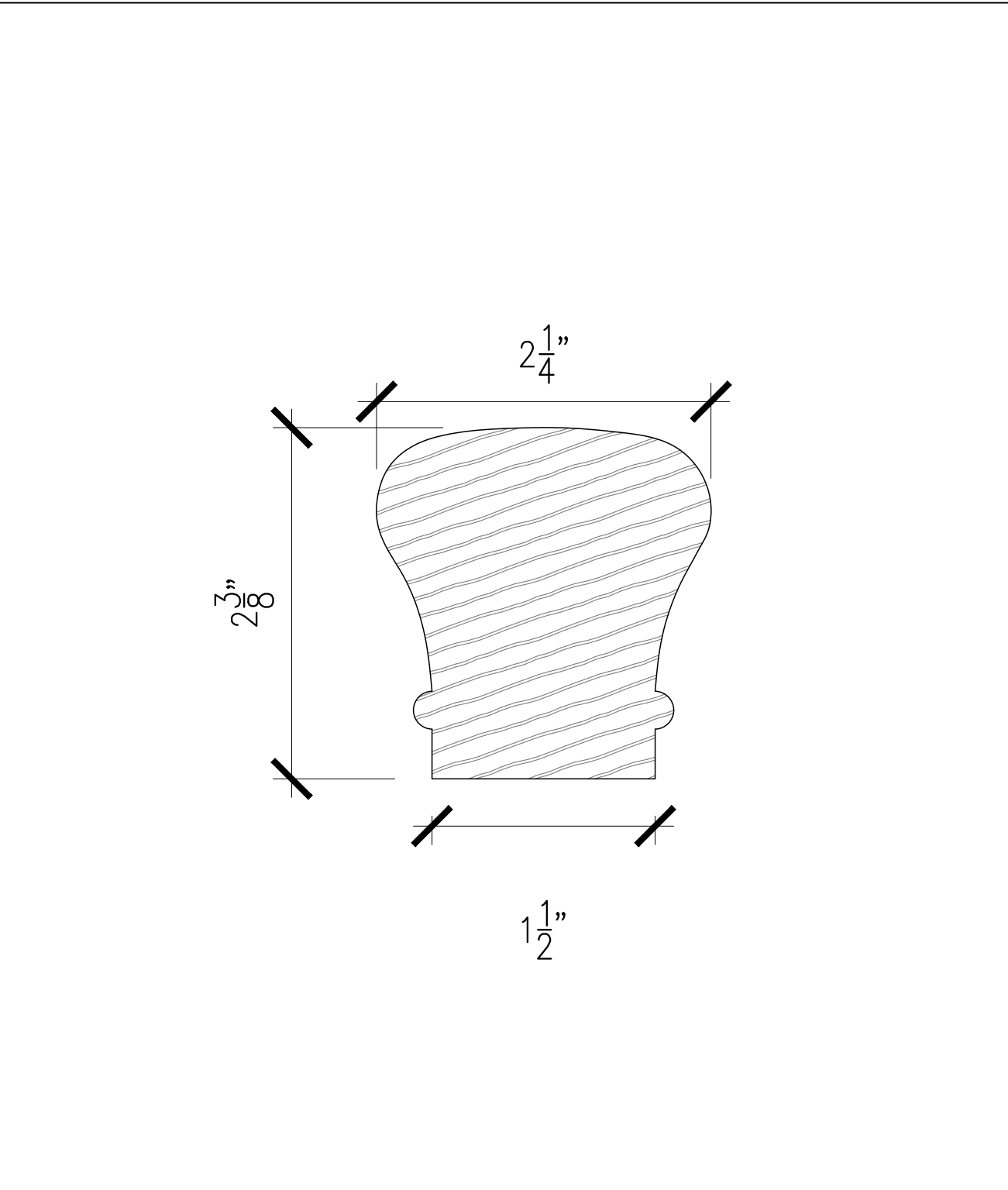
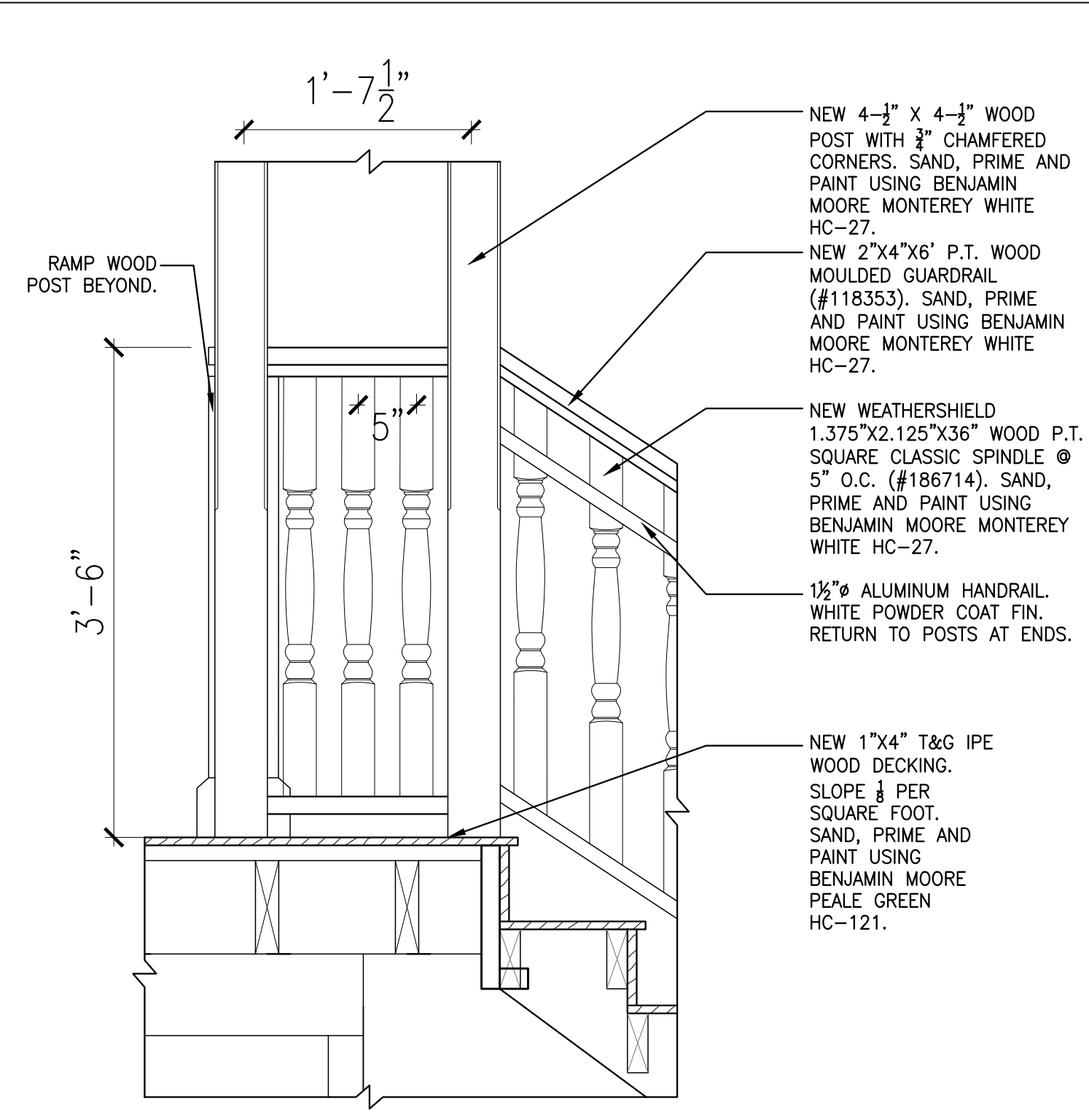
SHEET TITLE

**ACCESSIBLE RAMP AND STAIR**

PROJECT NO. B-193404  
DRAWING NO.

A4.01



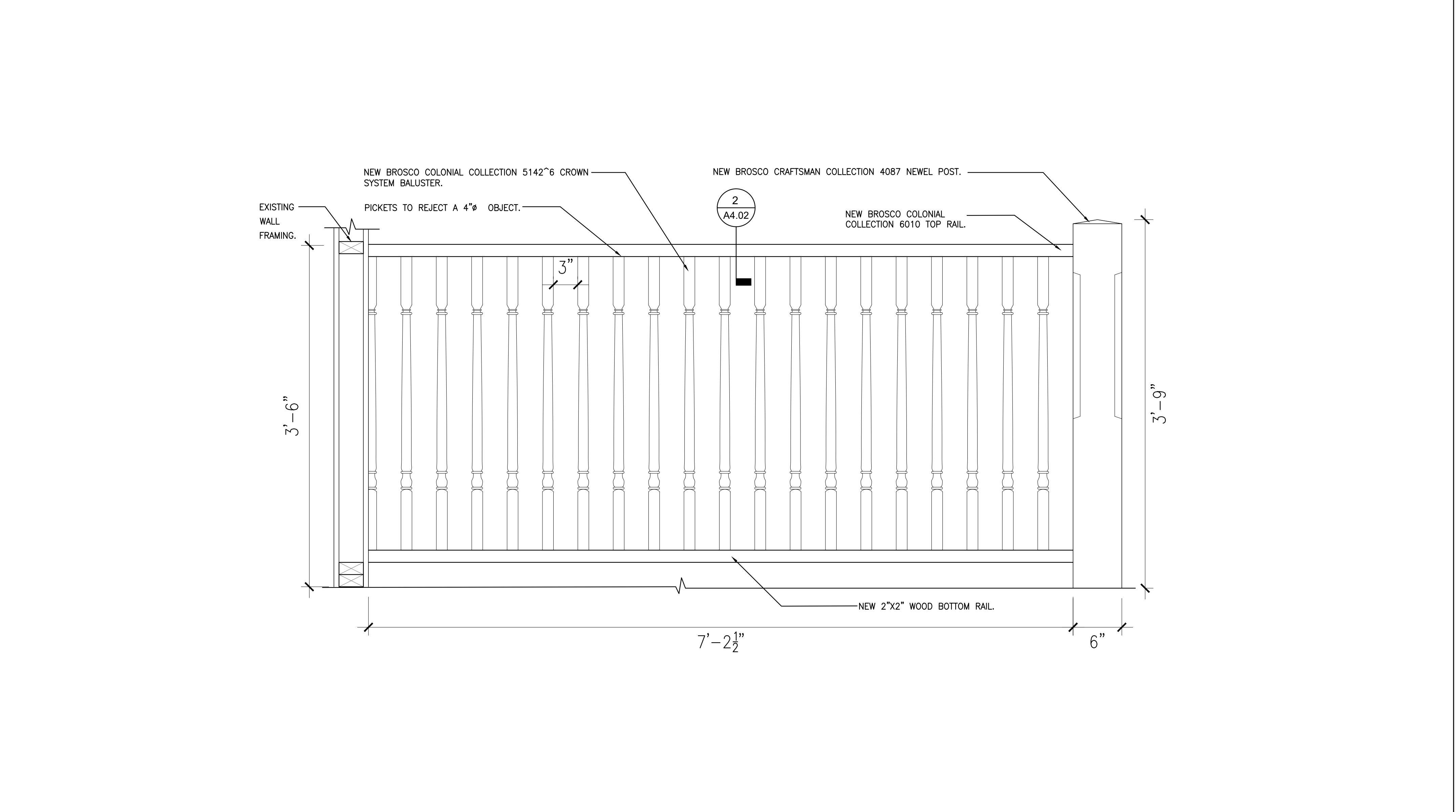


1 PORCH, STAIR AND RAMP DETAIL  
SCALE: 1' = 1'-0"

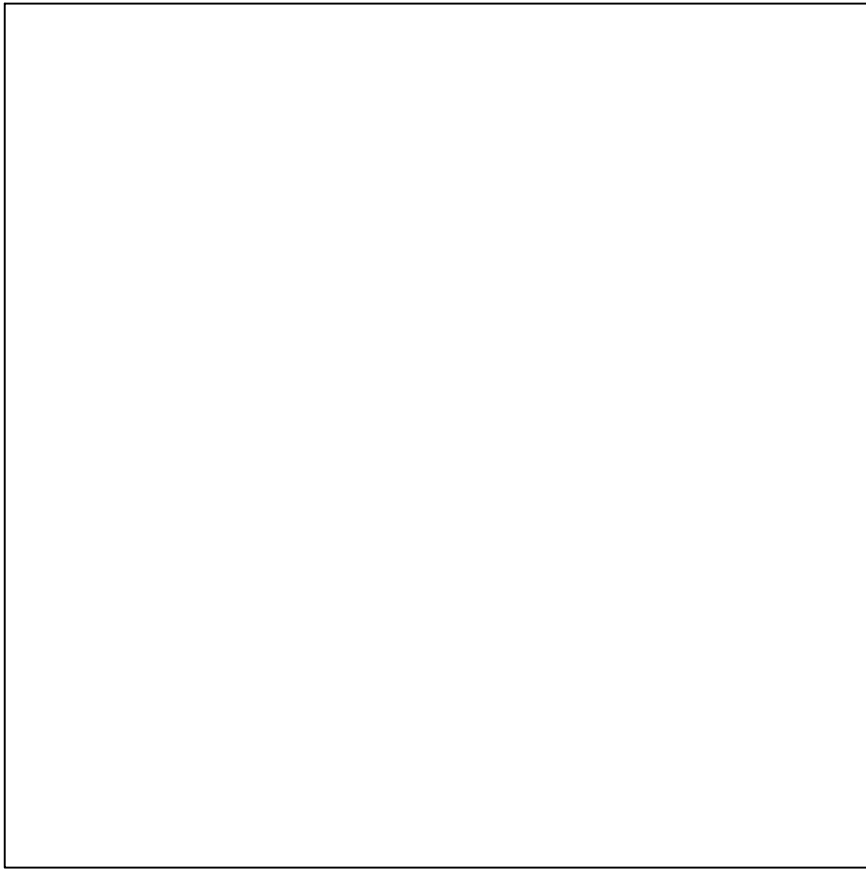
2 INT. HANDRAIL DETAIL  
SCALE: 1'-0" = 1'-0"

3 PORCH GUARDRAIL DETAIL  
SCALE: 1'-0" = 1'-0"

4 PORCH HANDRAIL DETAIL  
SCALE: 1-1/2' = 1'-0"



5 ENLARGED INTERIOR BALUSTRADE  
SCALE: 1-1/2' = 1'-0"



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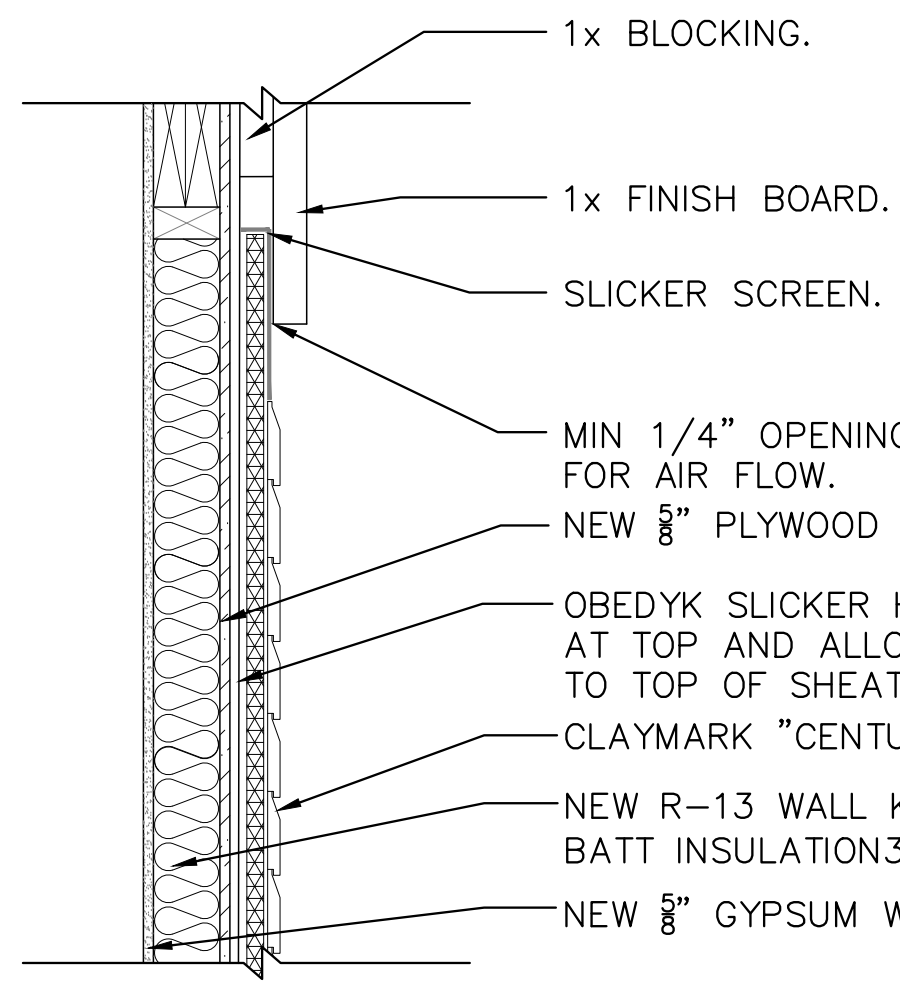
SHEET TITLE

**ACCESSIBLE RAMP AND INTERIOR BALUSTRADE**

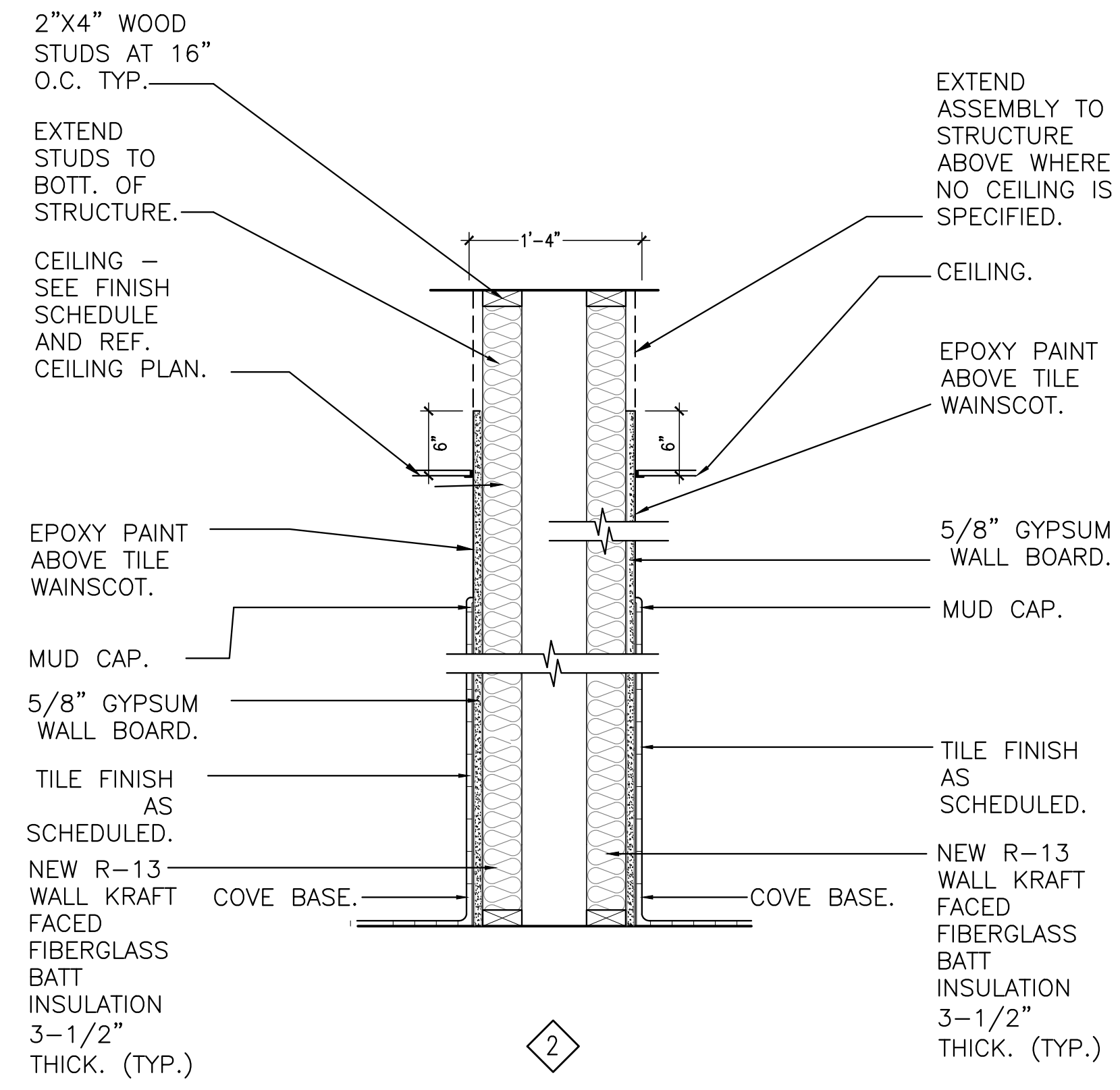
PROJECT NO. B-193404  
DRAWING NO.

**A4.02**

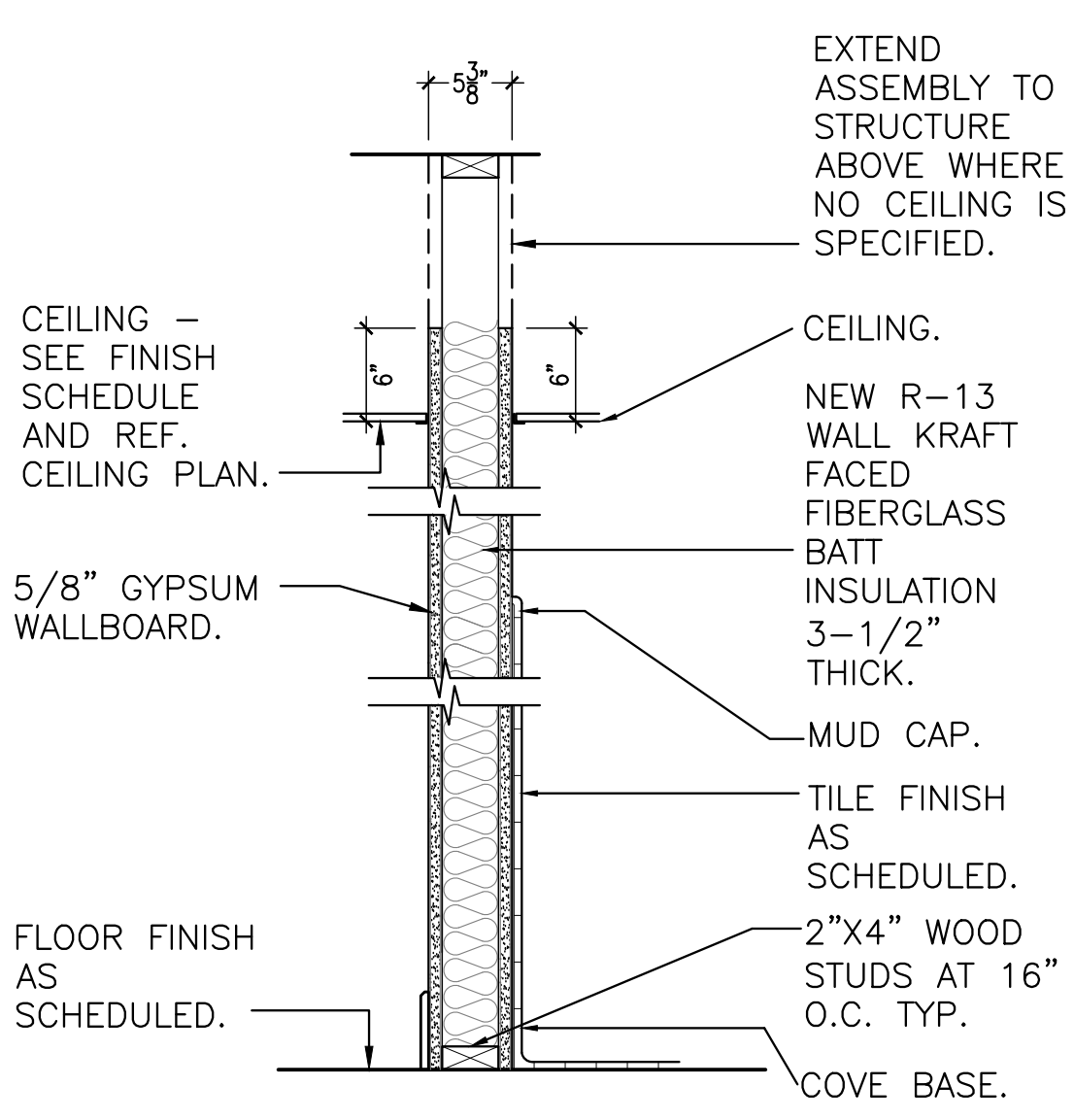
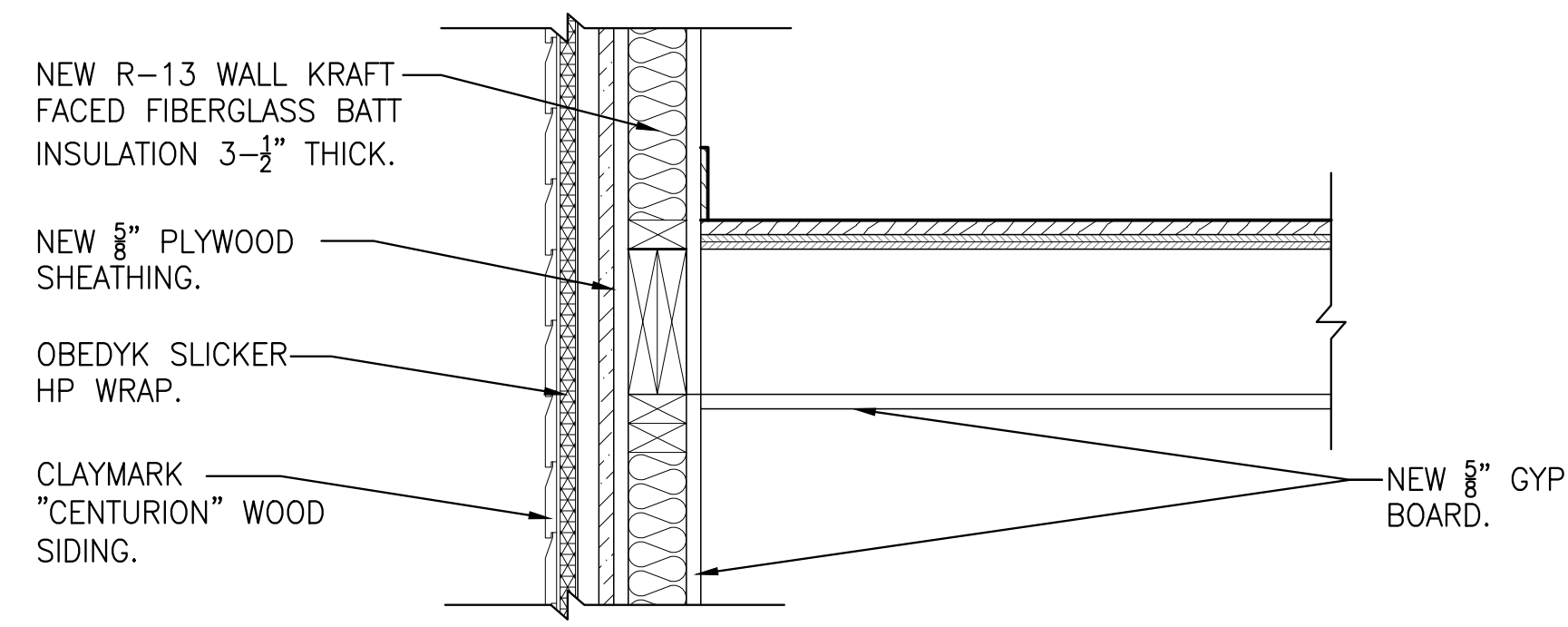




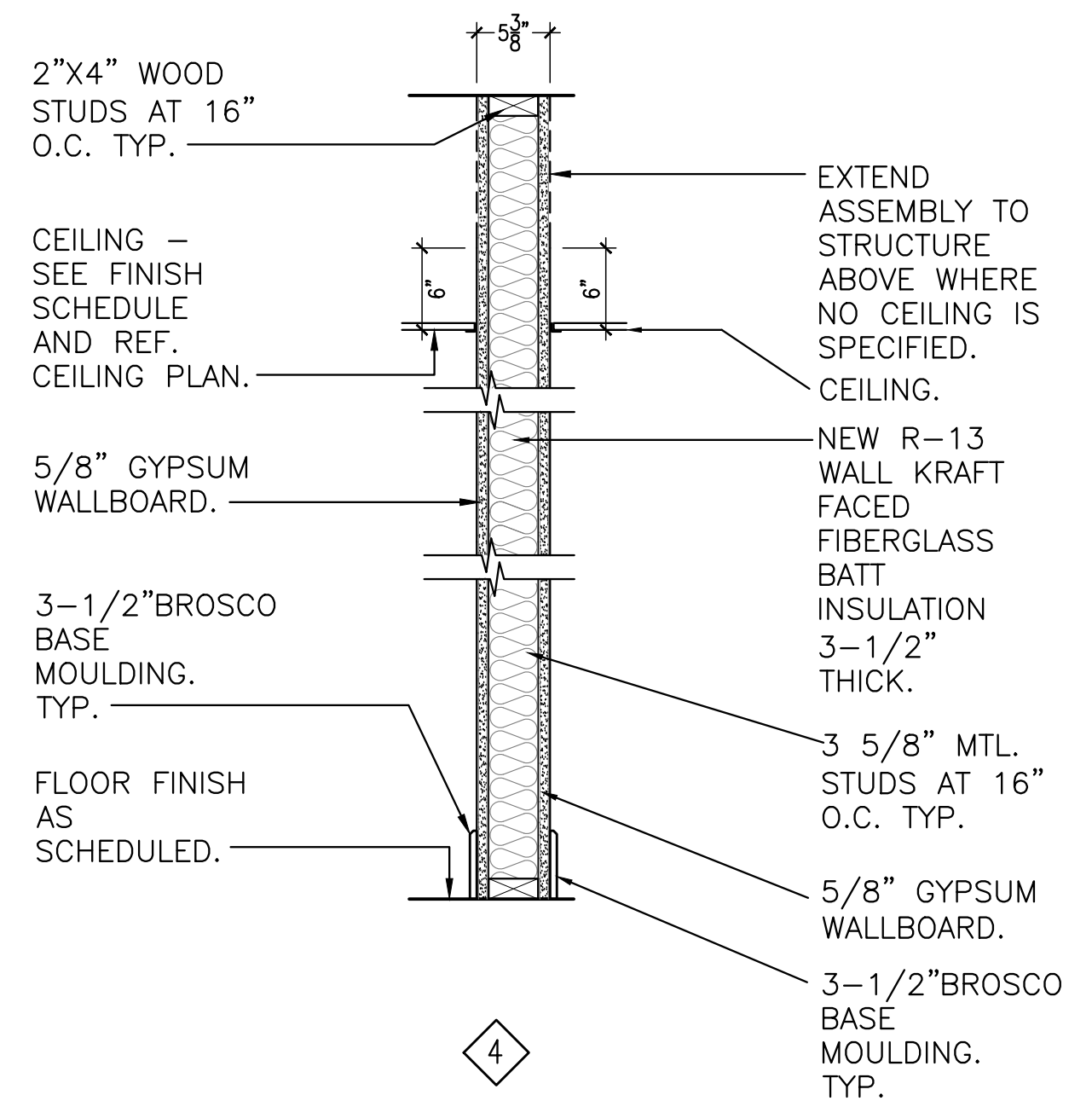
1  
NEW EXTERIOR WALL



2  
NEW INTERIOR CHASE WALL



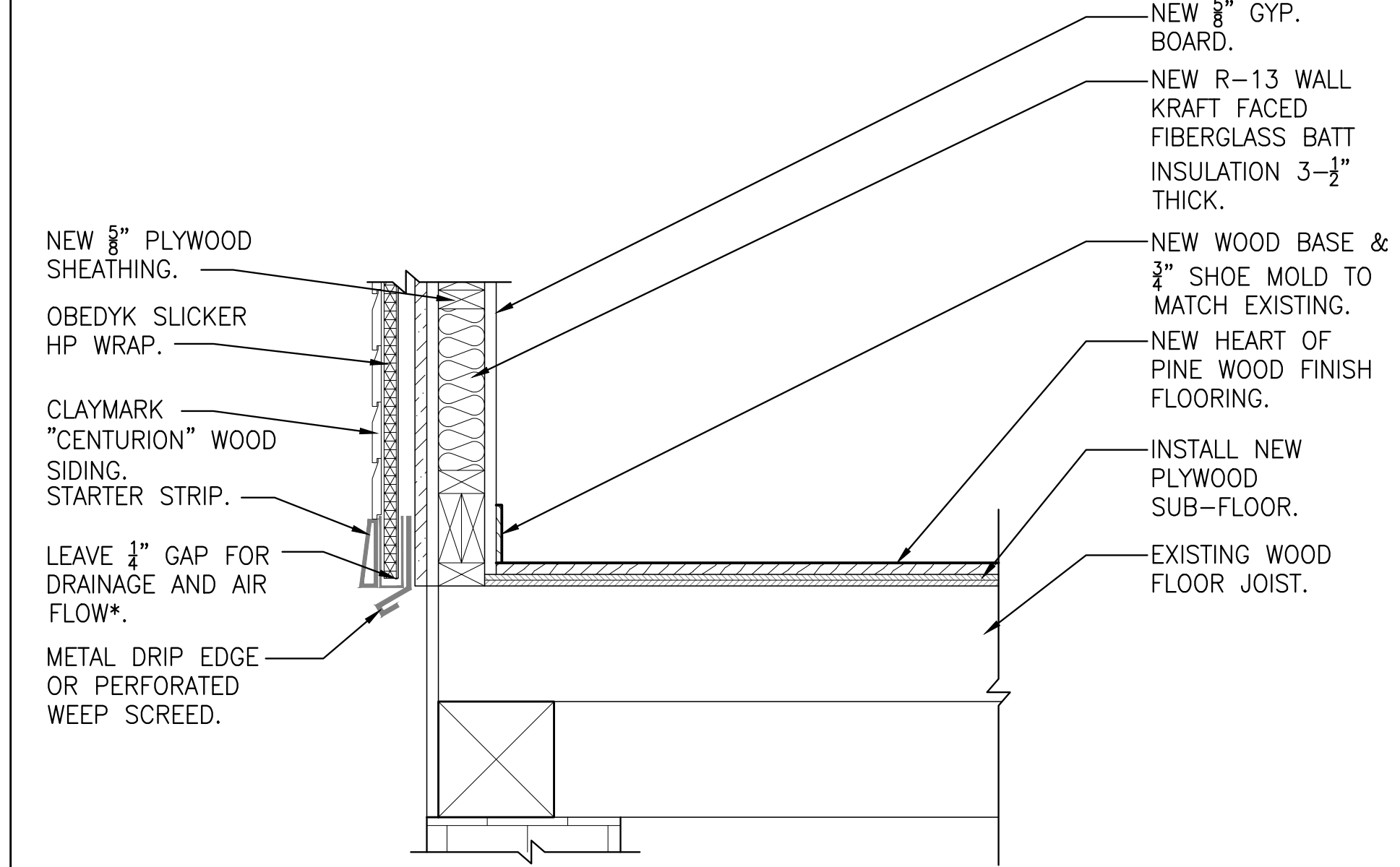
3  
NEW INTERIOR WALL



4  
NEW PARTITION WALL

2 CEILING/WALL DETAIL

SCALE: 1" = 1'-0"



3 FLOOR/WALL DETAIL

SCALE: 3" = 1'-0"



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SHEET TITLE

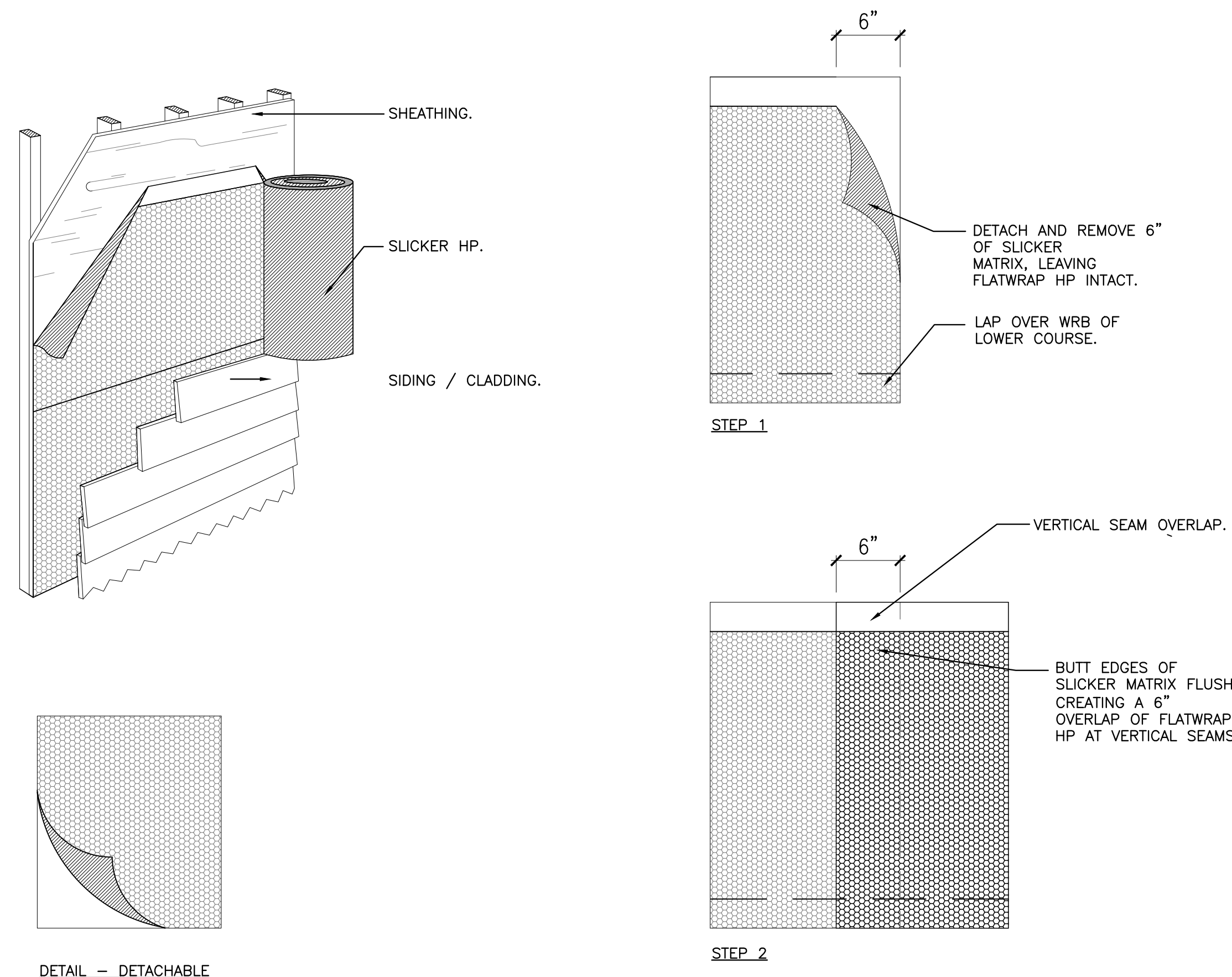
WALL TYPES AND DETAILS

PROJECT NO. B-193404  
DRAWING NO.

1 WALL TYPES

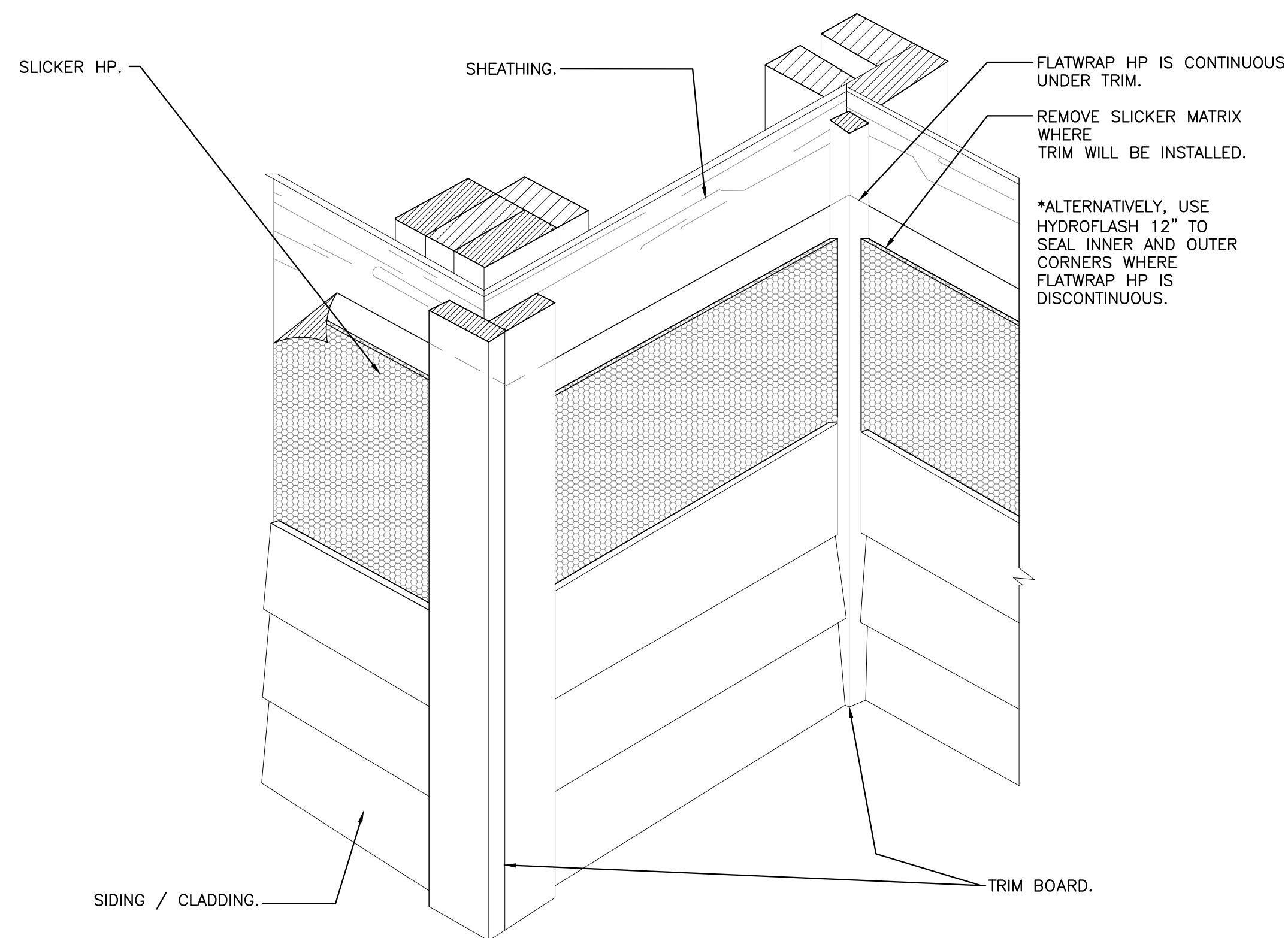
SCALE: 1" = 1'-0"





1 **OBEDYK SLICKER HP WRAP GENERAL INSTALLATION**

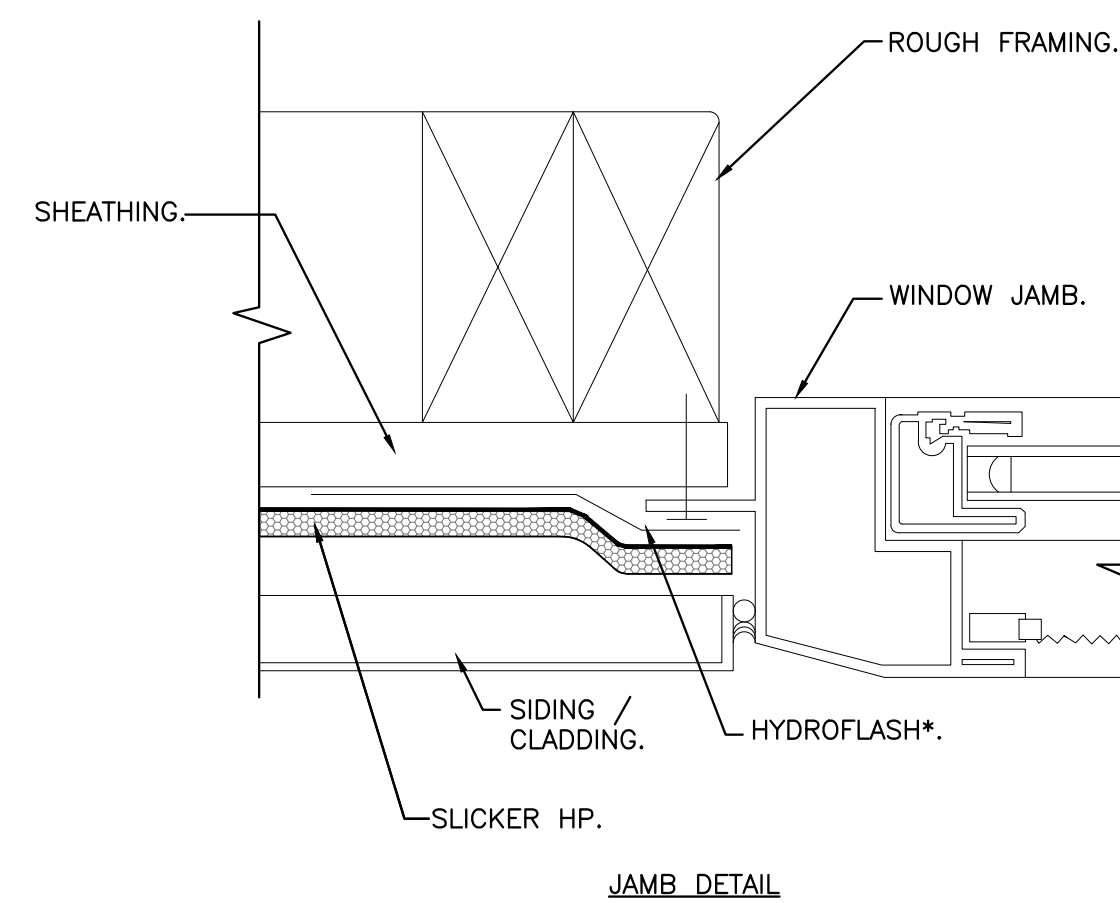
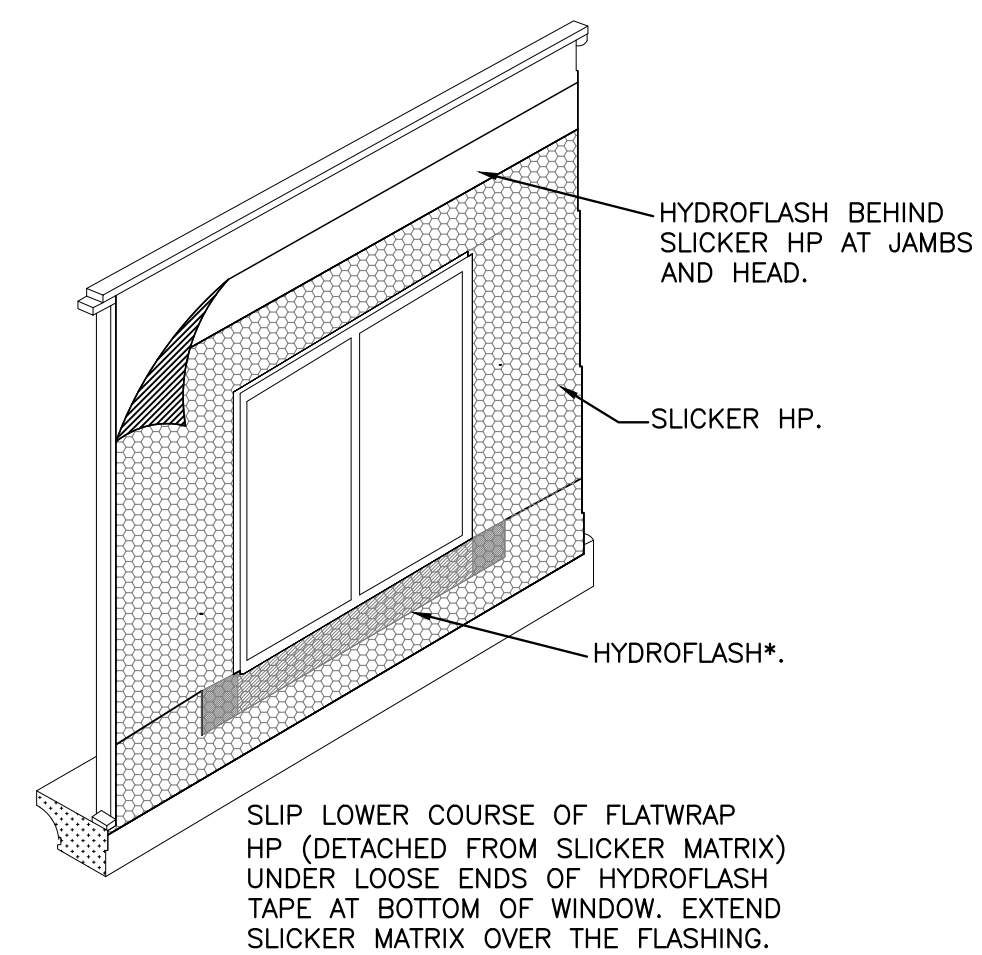
SCALE: 3/4" = 1'-0"



2 **OBEDYK SLICKER HP WRAP CORNER DETAIL**

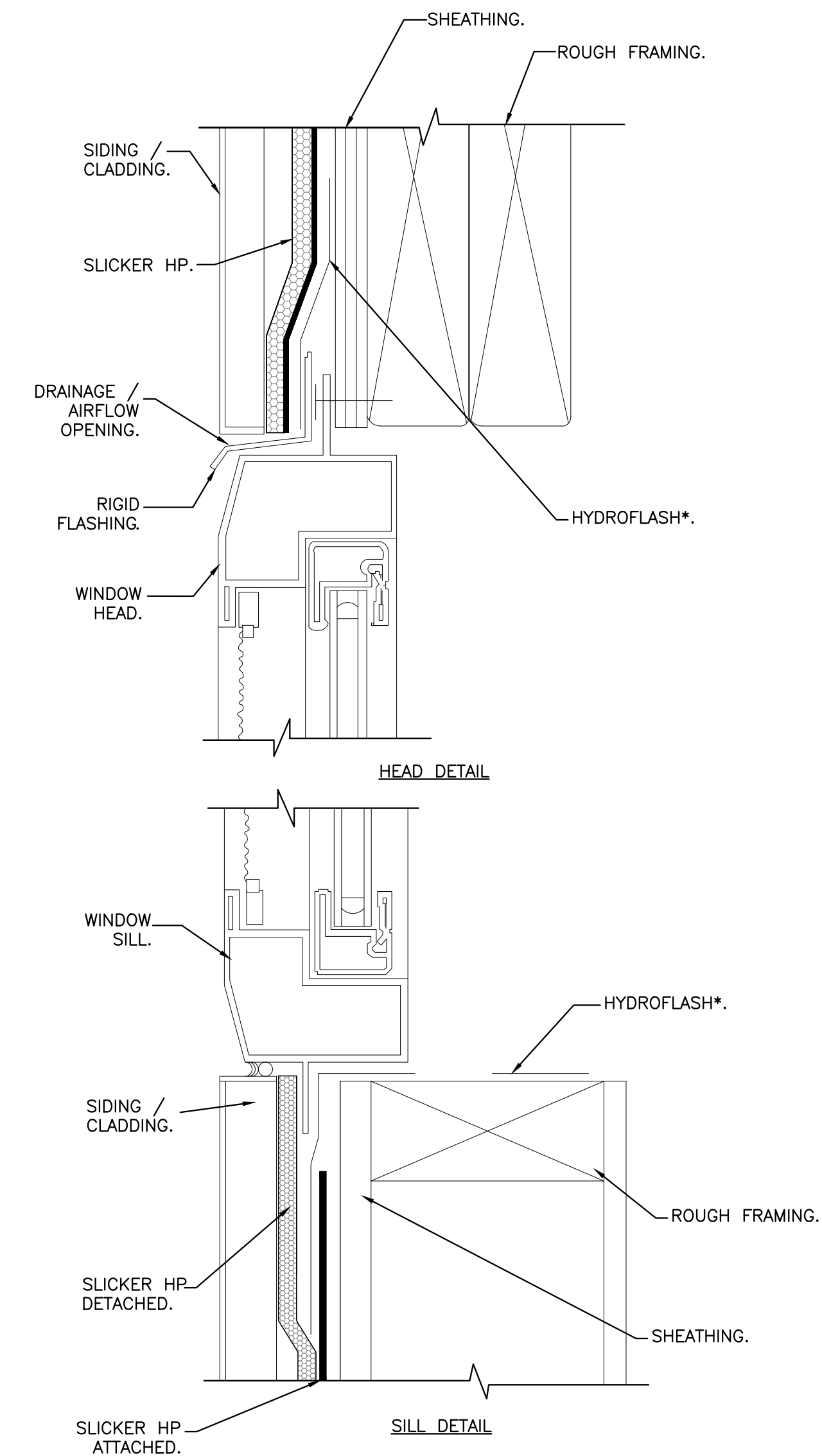
SCALE: 3/4" = 1'-0"

INSTALL WITH HIGHER COURSE OVERLAPPING FLATWRAP HP OF LOWER COURSE. SLICKER MATRIX CAN BE DETACHED FROM FLATWRAP FOR EASE OF WINDOW FLASHING INSTALLATION.



3 **OBEDYK SLICKER HP WRAP WINDOW INSTALLATION DETAIL**

SCALE: 3/4" = 1'-0"



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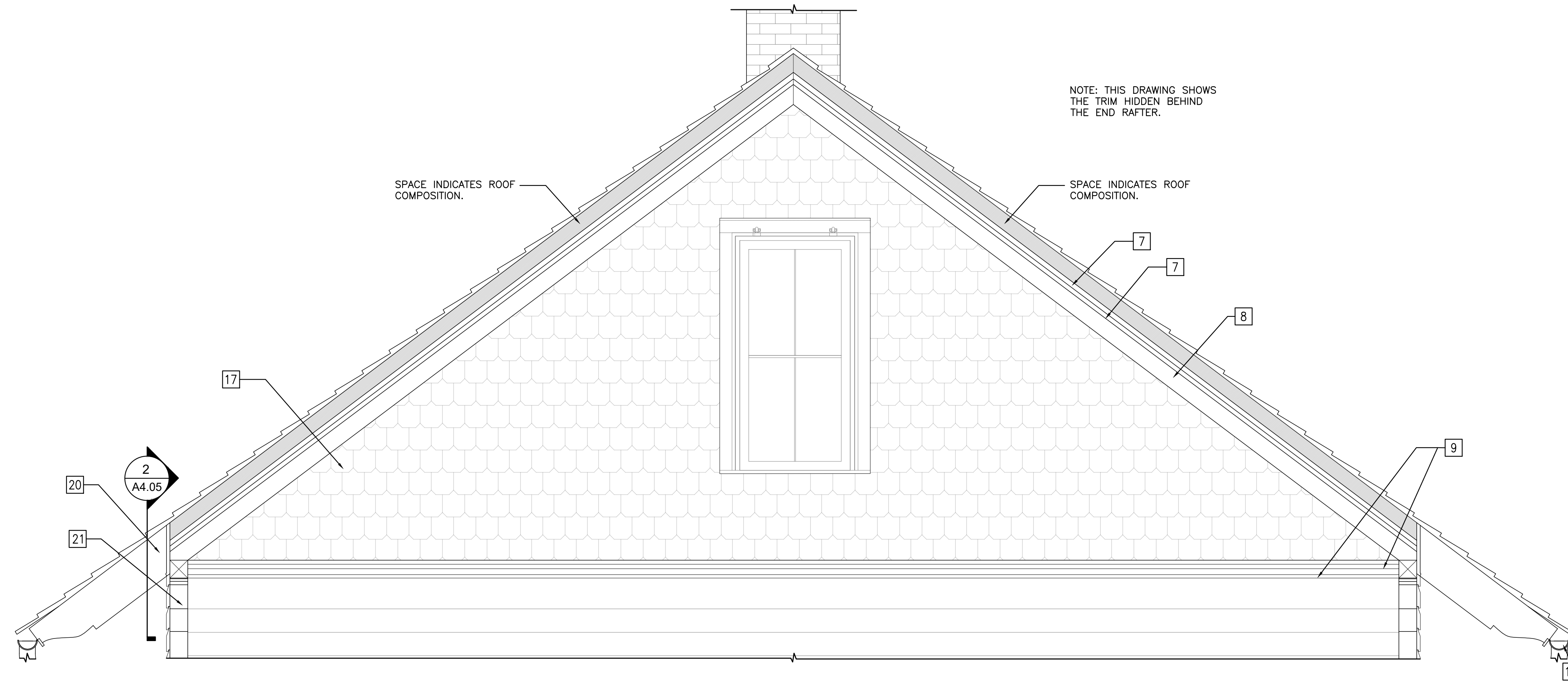
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SHEET TITLE

**WALL TYPES AND DETAILS**

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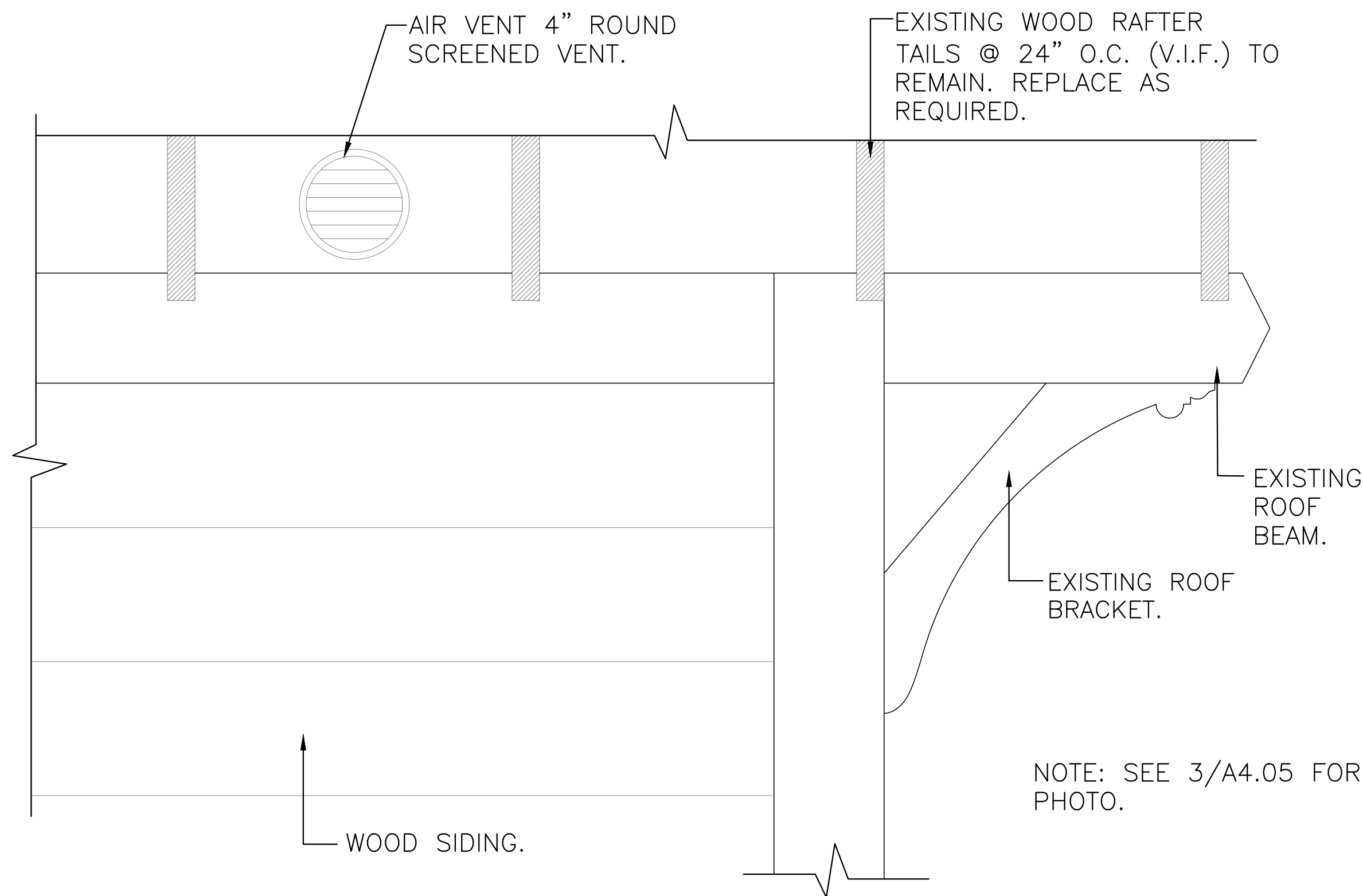




**1 ENLARGED GABLE ROOF END SHOWING ROOF TRIM**

SCALE: 3/4" = 1'-0"

**3 DETAIL IMAGES**



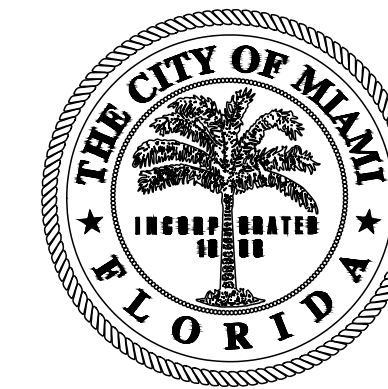
**2 ROOF BRACKET AND VENT DETAIL**

SCALE: 3" = 1'-0"

19. INSTALL NEW TREX CPVC LATTICE BETWEEN BRICK FOUNDATION PIERS. SEE DETAIL 4 ON SHEET A4.02.
  20. EXISTING WOOD RAFTER TAILS @ 24" O.C. (V.I.F.) TO REMAIN. REPLACE AS REQUIRED. RAFTER TAILS REQUIRING REPLACEMENT SEE DETAIL A ON A4.06.
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  22. INSTALL NEW CLAYMARK "CENTURION" WOOD SIDING WITH TRUECORE PROTECTION TO MATCH EXISTING. PAINT BENJAMIN MOORE MARBLEHEAD GOLD HC-11.
  23. REINSTALL INFORMATION PLAQUE.
1. EXISTING IN DIMENSIONS AND FINISHES (COVERING WITH BALUSTRADE FLOORING). GIVE CARE TO MATCH DETAILING SIMILAR TO THE CHAMFERED COLUMN CORNERS. SEE DETAIL 2 SHEET A4.02 FOR MORE INFORMATION.
  2. INSTALL NEW "SCREEN TIGHT" WOODCRAFT DOOR. SCREEN TIGHT - ONE BETTER WAY GEORGETOWN, SC 29440 PHONE: (800) 768-7325
  3. CONSTRUCT NEW ADA ACCESSIBLE RAMP WITH GUARDRAILS AND HANDRAILS. SEE SHEET A4.01 AND A4.02.
  4. CONSTRUCT NEW CONCRETE STAIRS WITH GUARDRAILS AND HANDRAILS. SEE SHEET A4.01.
  5. INSTALL NEW BROSCO CLASSIC COLLECTION STANDARD FAUX LOUVER. PAINT USING BENJAMIN MOORE PEALE GREEN HC-121.
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**4 KEYNOTES**

SCALE: 1" = 1'-0"



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5757 WATERFORD DISTRICT DRIVE, SUITE 255  
MIAMI, FLORIDA 33126  
TEL: 305-461-3450

**BISCAYNE ENGINEERING**  
SURVEYOR  
529 WEST FLAGLER STREET,  
MIAMI FLORIDA, FL 33130  
TEL: 305-324-7671 FAX: 305-324-0809

**EMTec CORPORATION**  
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CORAL GABLES, FLORIDA 33146  
TEL: 305-461-3883

**RJ HEISENBOTTLE**  
ARCHITECTURE  
2199 PONCE DE LEON BLVD.  
SUITE 400  
CORAL GABLES, FL 33134  
TELEPHONE: 305-446-7799 FAX: 305-446-9275  
FLORIDA REGISTRATION NUMBER: AR 0010865

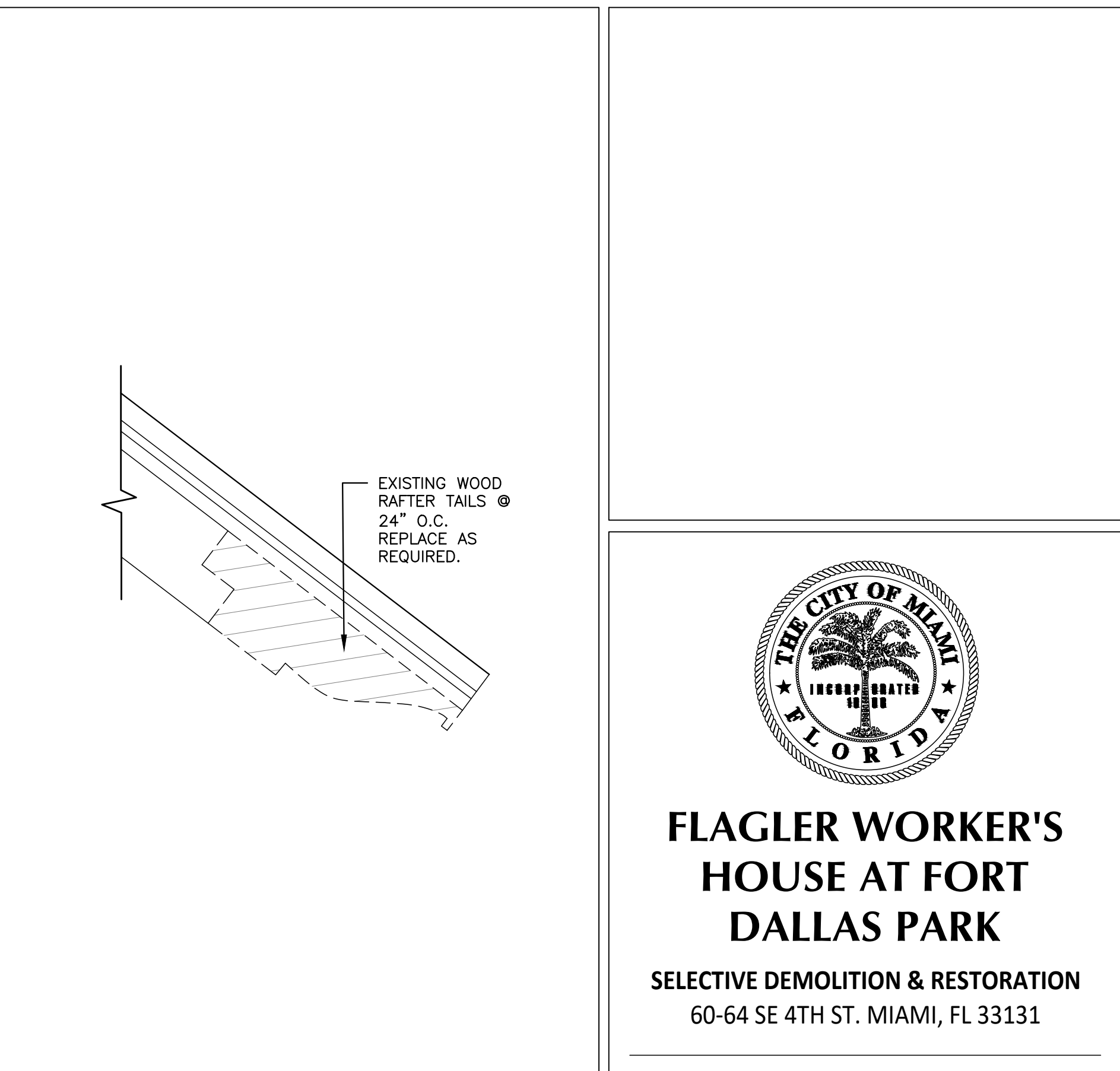
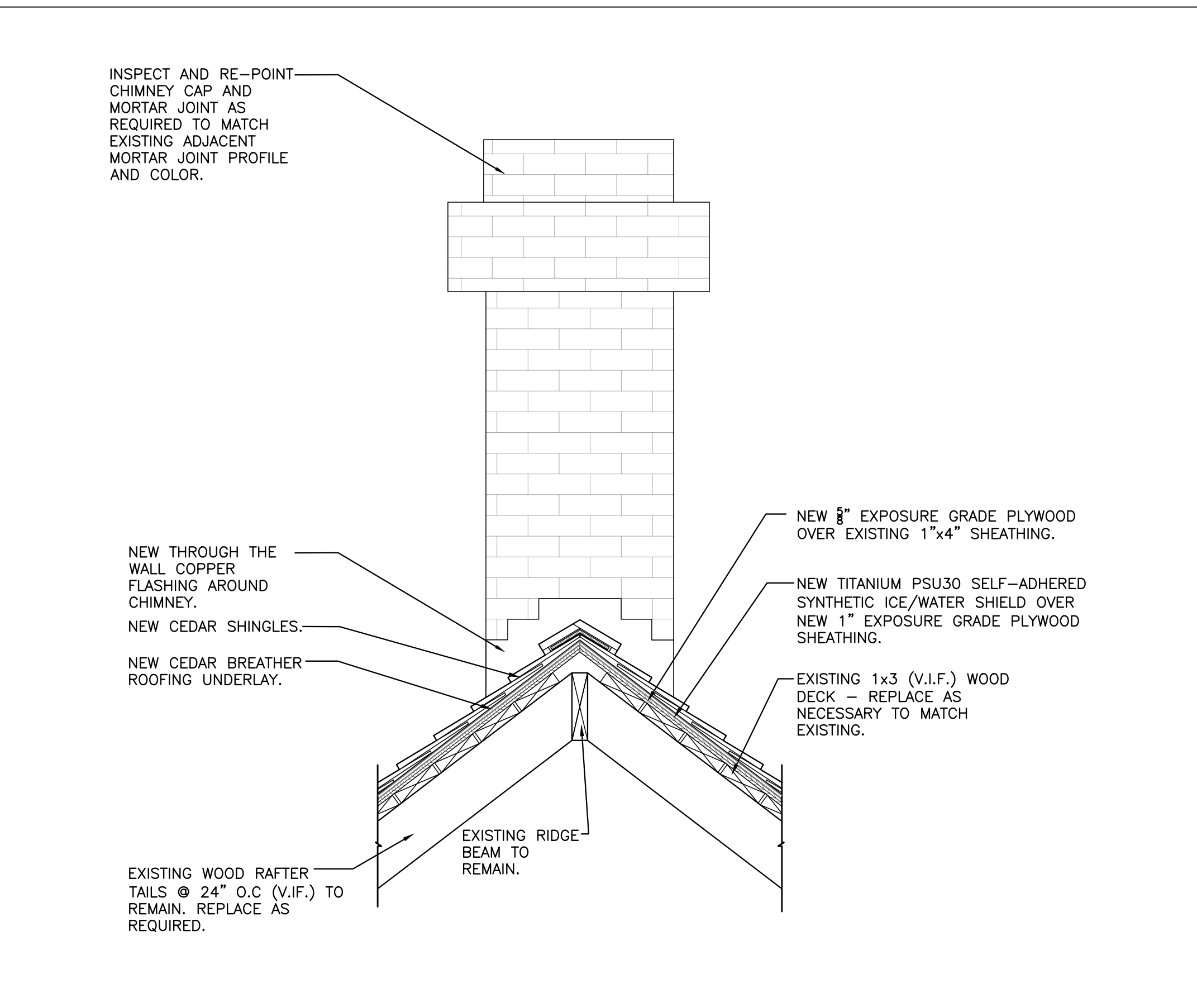
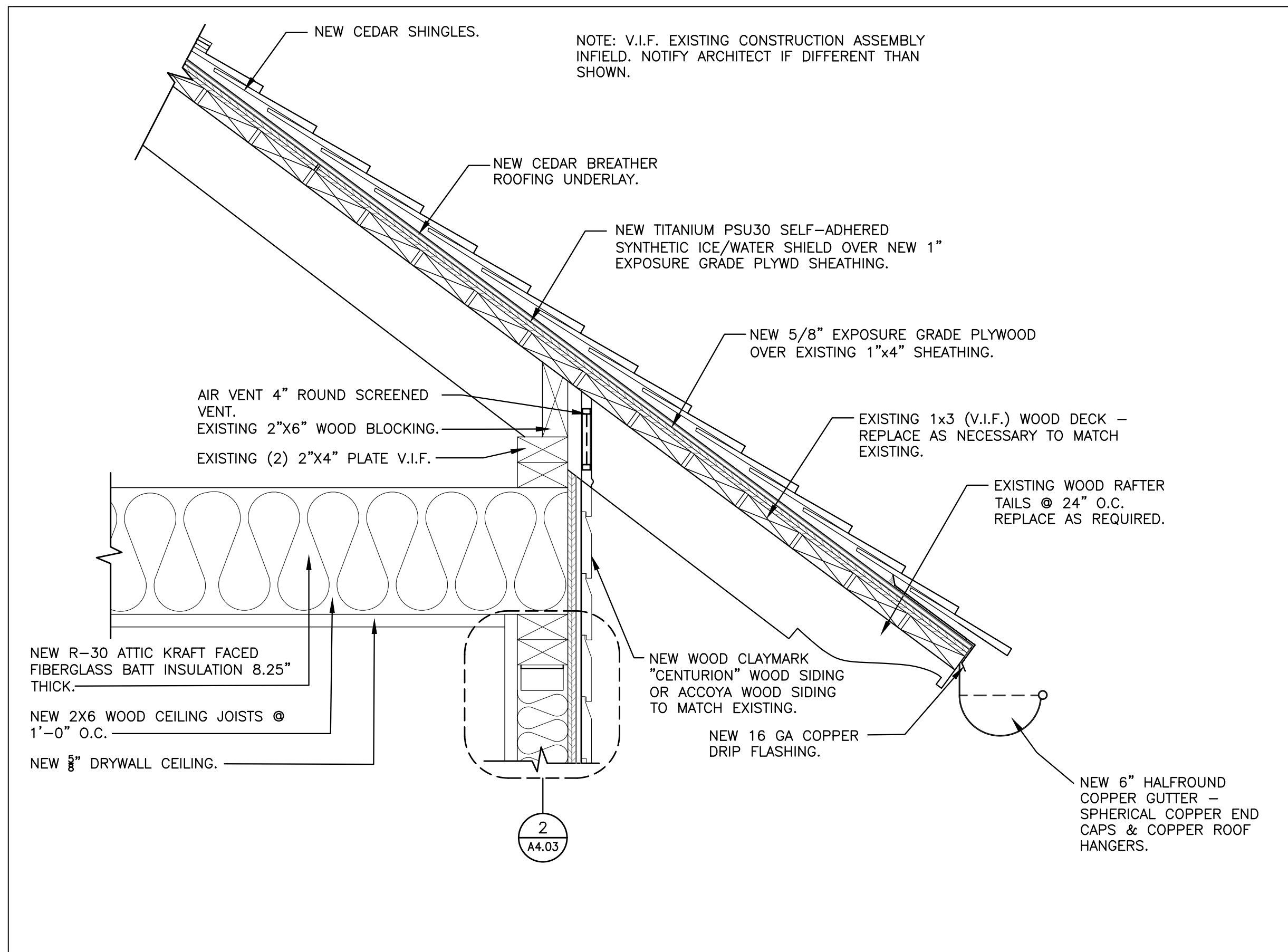
SHEET TITLE

**ROOF DETAILS**

PROJECT NO. B-193404  
DRAWING NO.

**A4.05**

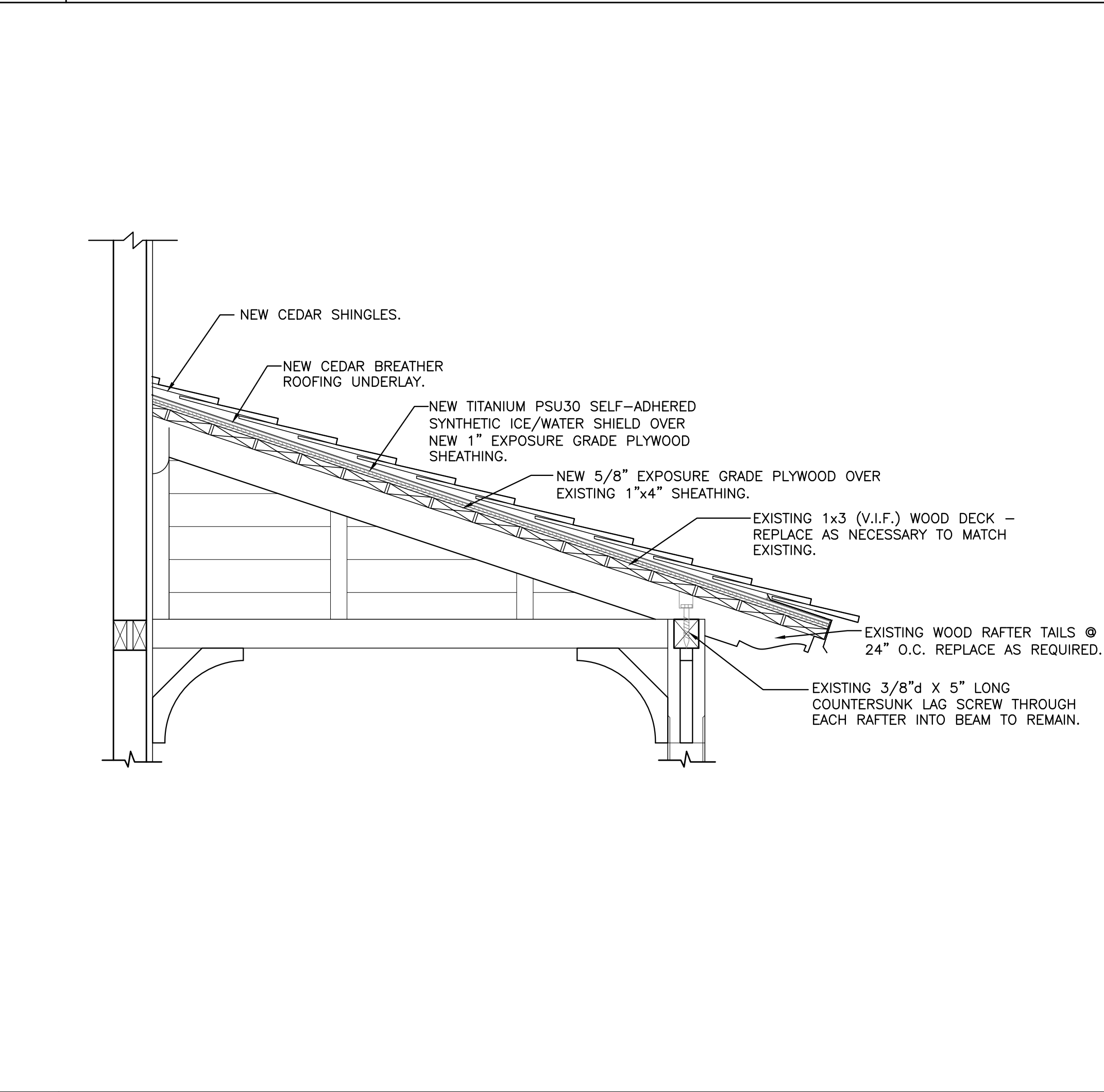
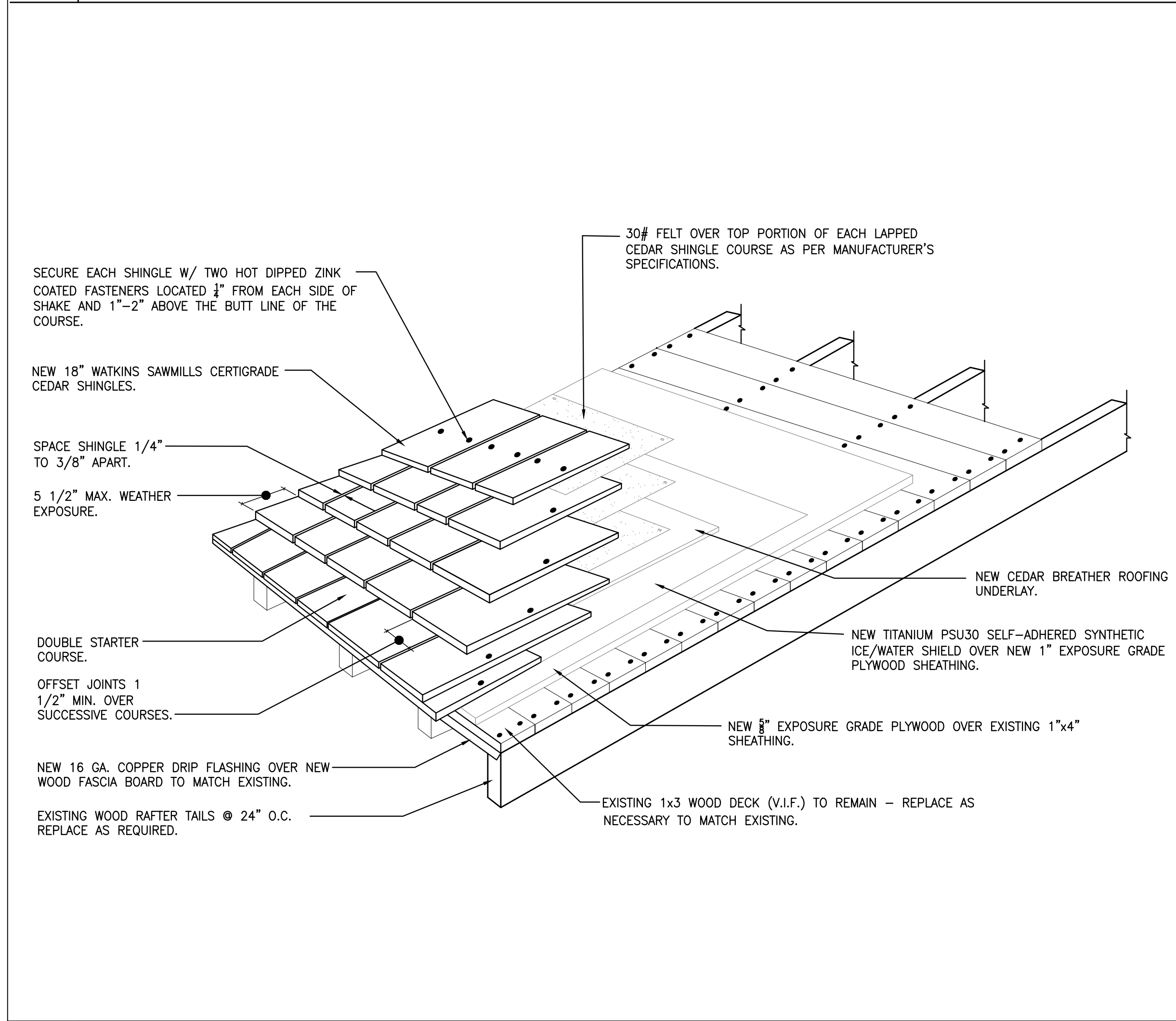




1 **ROOF DETAIL**  
SCALE: 1-1/2" = 1'-0"

2 **ROOF RIDGE DETAIL**  
SCALE: 1" = 1'-0"

3 **RAFTER TAIL DETAIL**  
SCALE: 1-1/2" = 1'-0"



OWENS CORNING ROOFING AND ASPHALT, LLC  
1-800-438-7465  
WWW.OWENSCORNING.COM/EN-US

TITANIUM UDL25 UNDERLAYMENT  
NOA NO.: 22-0829.04  
EXPIRATION DATE: 08/08/2028

WATKINS SAWMILLS LTD  
1-800-663-8301  
WWW.WATKINSAWMILLS.COM/

CERTI-LAST CEDAR SHINGLES (GRADE 1)  
L18" X W6" TAS 100 / ASTM D 3462  
PRESERVATIVE TREATED RED CEDAR  
NOA NO.: 22-1202.04  
EXPIRATION DATE: 02/20/2028

BUILDERS WAREHOUSE  
1-800-509-0414  
WWW.BUILDERSWAREHOUSE.COM

BENJAMIN OBDYKE CEDAR BREATHER

JOHNS MANVILLE CORPORATION  
WWW.JM.COM

MODIFIED BITUMEN ROOFING SYSTEM OVER WOOD DECKS.  
DYNAGLAS 30 FR CAP SHEET  
NOA NO.: 21-0303.20  
EXPIRATION DATE: 07/19/2026

GAF  
WWW.GAF.COM/EN-US

VERSASHIELD FIRE RESISTANT ROOF DECK PROTECTION  
NOA NO.: 21-1027.02  
EXPIRATION DATE: 02/07/2027

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**

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SHEET TITLE

**ROOF DETAILS**

PROJECT NO. B-193404  
DRAWING NO.

4 **ROOF INSTALLATION DETAIL**  
SCALE: 3" = 1'-0"

5 **ROOF DETAIL AT PORCH**  
SCALE: 1" = 1'-0"

6 **NOA INFORMATION**

  
**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**  
SELECTIVE DEMOLITION & RESTORATION  
60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
444 SW 2ND ST. 8TH FLOOR  
MIAMI, FLORIDA 33130-1910



### STANDARD RESTROOM FIXTURES AND ACCESSORIES

LABEL	ACCESSORY	MANUF. OR APPROVED EQUAL- MODEL NO.	MOUNTING METHOD	MOUNTING HEIGHT FROM FINISHED FLOOR	REMARKS
(A)	FLOOR MOUNTED TOILET	AMERICAN STANDARD	FLOOR	48" TO TOP OF UNIT	SEE PLUMBING DWGS.
(B)	WALL-MOUNTED SINK	KOHLER	SURFACE	73" TO TOP OF FRAME	SEE PLUMBING DWGS.
(C)	TOILET TISSUE DISPENSER	BOBRICK B-2888	SURFACE	26" TO TOP OF UNIT	
(D)	PAPER TOWEL DISPENSER	BOBRICK B3-944	SURFACE	70" FROM FINISH FLOOR	
(E)	MIRROR	AMERICAN STANDARD MODEL # TU061508.002	SURFACE	73" TO THE T.O. FRAME	
(F)	LINEAR VANITY LIGHT	WESTINGHOUSE	SURFACE		SEE LIGHTING DWGS.
(G)	RECESSED CEILING LIGHT		SURFACE		SEE LIGHTING DWGS.
(H)	CHANGING TABLE	KOALA KARE KB301-05SS	SURFACE		
(I)	GRAB BAR	BOBRICK B-5806	SURFACE		
(J)	WALL SOAP DISPENSAR	BOBRICK B-4112	SURFACE		

### RESTROOM FINISH SCHEDULE

LABEL	DESCRIPTION	MANUFACTURER/MODEL #	COLOR	FINISH	REMARKS
FT -1	1" HEXAGON FIELD FLOOR TILE	EXISTING TILE TO BE RESTORED		UNGLAZED PORCELAIN	FIELD FLOOR TILE
FT -2	2"X2" BORDER FLOOR TILE	AMERICAN RESTORATION TILE MODEL # 2X2 ART	1910 WHITE	UNGLAZED PORCELAIN	BORDER FLOOR TILE ALONG WALL PERIMETER
WT-1	6"X6" SANITARY COVE BASE WALL TILE	SUBWAY CERAMICS MODEL # 66CB00	10 WHITE	GLAZED	INSTALL RELATED RADIUS TRIMS AND CORNER TRIMS
WT -2	6"X6" FIELD WALL TILE	SUBWAY CERAMICS MODEL # 36FT00	10 WHITE	GLAZED	INSTALL RELATED RADIUS TRIMS AND CORNER TRIMS
WT -3	1-1/2X6 "P" CAP MOLDING TILE	SUBWAY CERAMICS MODEL # 16PS00	10 WHITE	GLAZED	INSTALL RELATED RADIUS TRIMS AND CORNER TRIMS
	FLOOR TILE GROUT	LATICRETE INTERNATIONAL, INC SPECTRALOCK PRO GROUT	44 BRIGHT WHITE		STAIN RESISTANT. 10 YEAR WARRANTY. CAULKING AT TILE COVES AND CORNERS SHALL BE LATICRETE LATASIL

1 SCHEDULE

SCALE: 3/4" = 1'-0"



### FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK

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NO.	REVISIONS/SUBMISSIONS	DATE
	100% Review Submission	11/03/23

### PROJECT TEAM



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5757 WATERFORD DISTRICT DRIVE, SUITE 255  
MIAMI, FL 33126  
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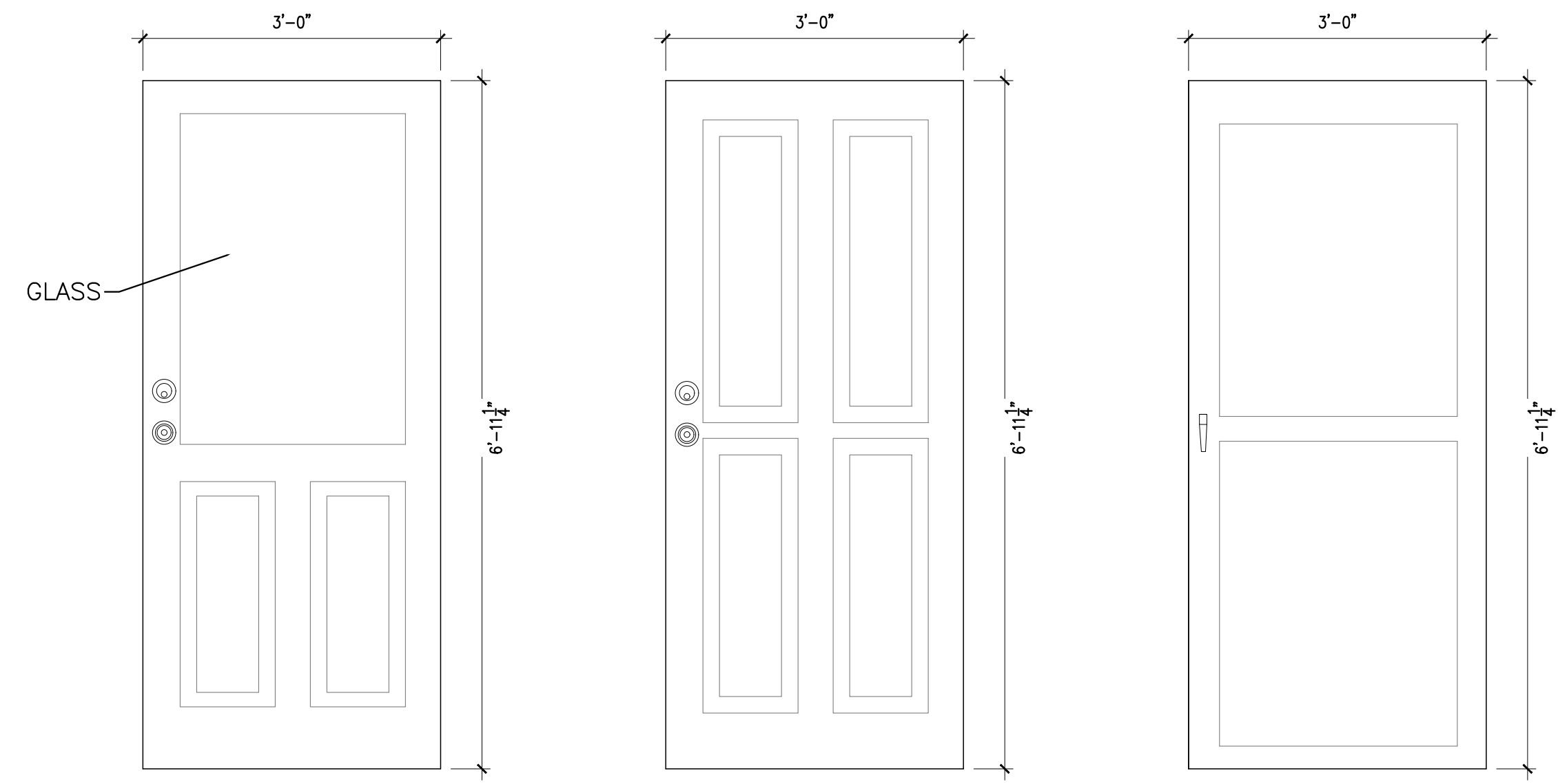
SHEET TITLE

### PROPOSED BATHROOM DETAILS AND ELEVATIONS

PROJECT NO. B-193404  
DRAWING NO.

A4.08





1-01  
A  
NEW MAHOGANY WOOD  
PANEL DOOR PAINTED  
FA #: FL29783

1-02  
B  
NEW MAHOGANY WOOD  
PANEL DOOR PAINTED  
FA #: FL29783

1-03  
C  
NEW WOOD HINGED  
SCREEN TIGHT  
SCREEN DOOR  
UNSPSC: 30171500

- PROPOSED EXTERIOR DOOR NOTES:
- G.C. SHALL BE RESPONSIBLE FOR CALCULATING QUANTITIES.
  - DOOR OPENINGS MAY VARY. FIELD VERIFY ALL WOOD FRAME WALL OPENINGS PRIOR TO ORDERING NEW REPLACEMENT DOORS.
  - PROVIDE SHOP DRAWINGS SHOWING ALL DOOR AND INSTALLATION DETAILS FOR ARCHITECT'S REVIEW AND APPROVAL. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO SUBMITTAL OF SHOP DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH EXISTING CONDITIONS.
  - BASE OF DOOR DESIGN: ROATAN MAHOGANY USA, INC.
  - BASE OF SCREEN DOOR DESIGN: SCREEN TIGHT WOODCRAFT WOOD HINGED SCREEN DOOR

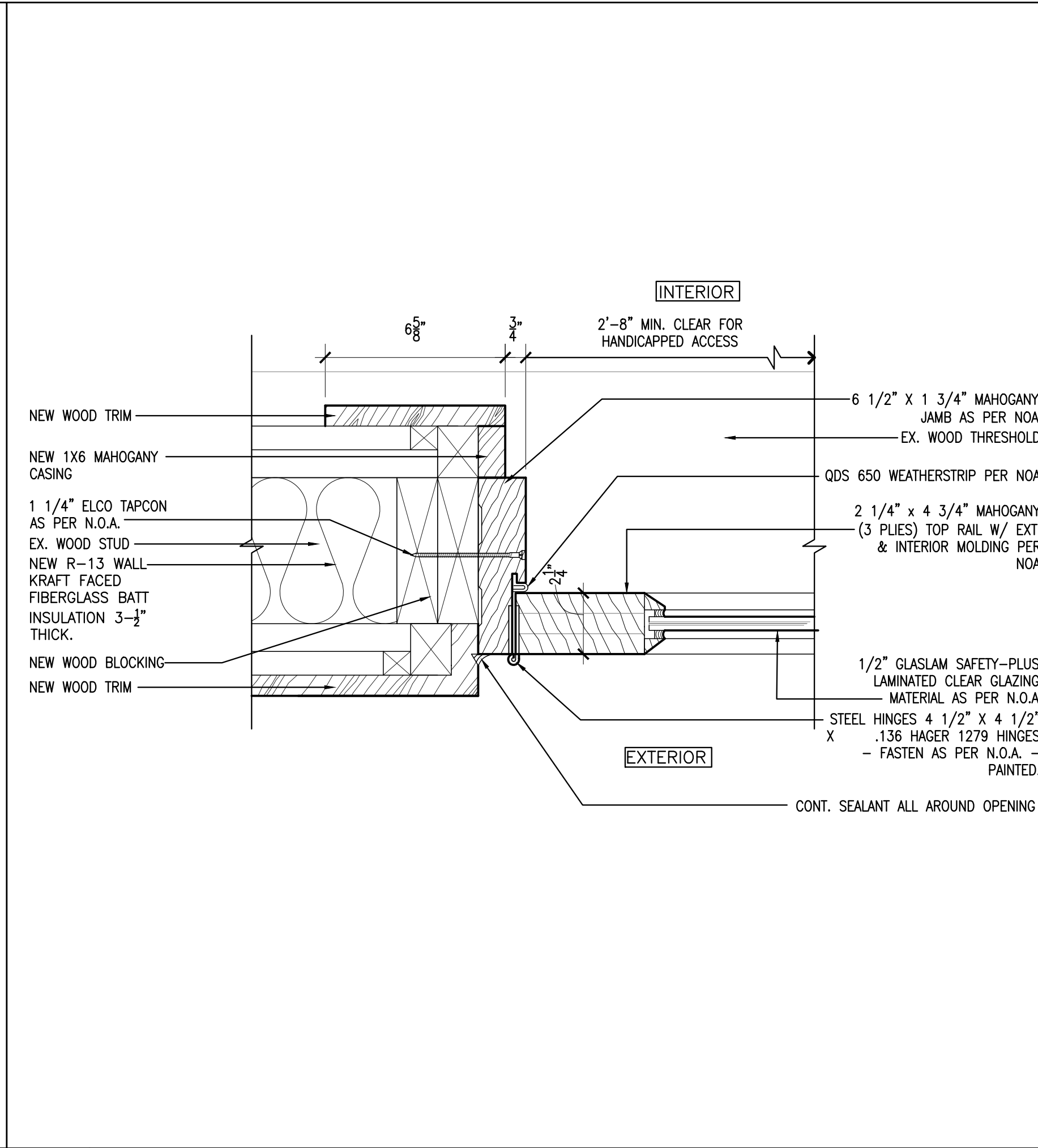
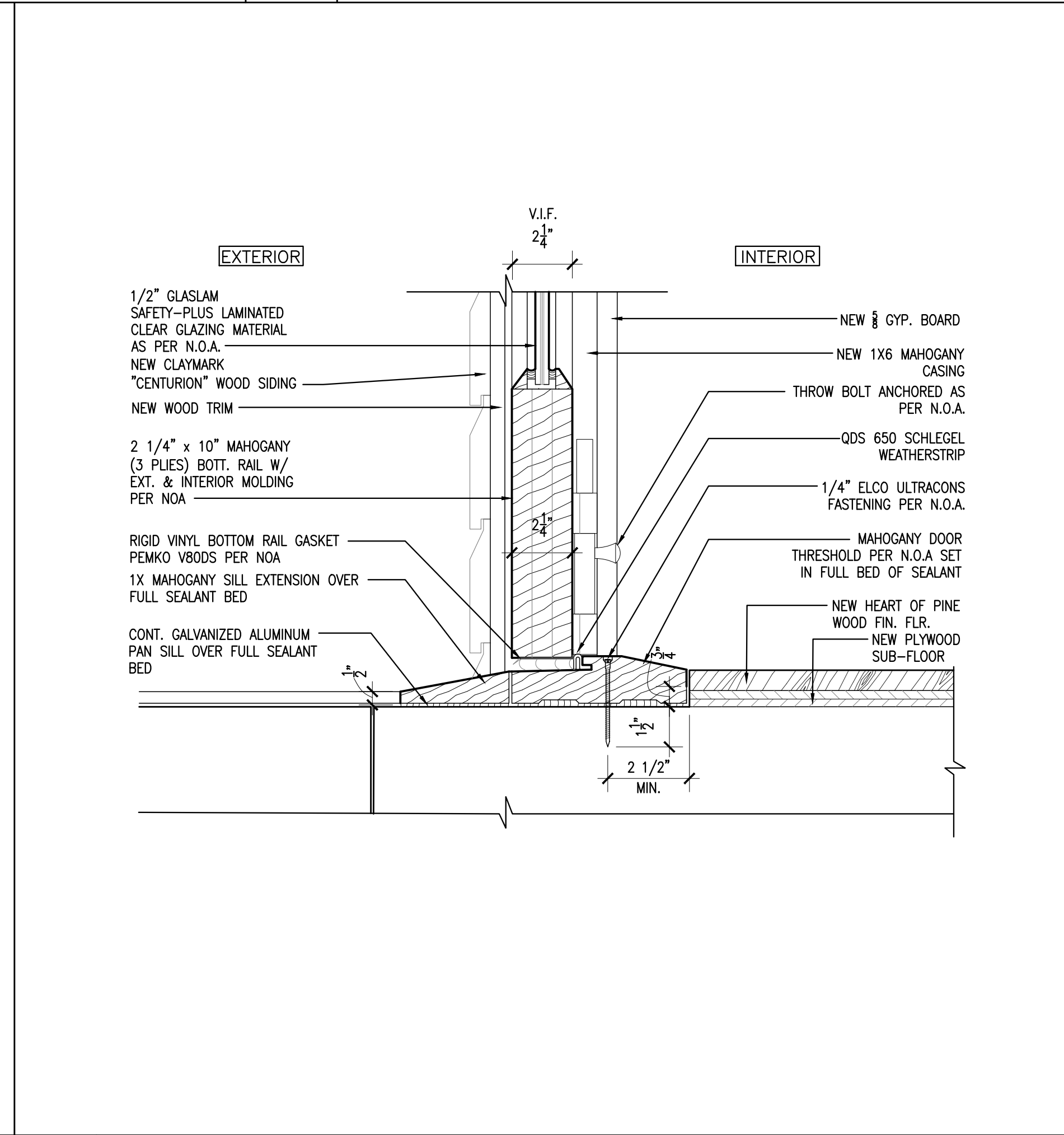
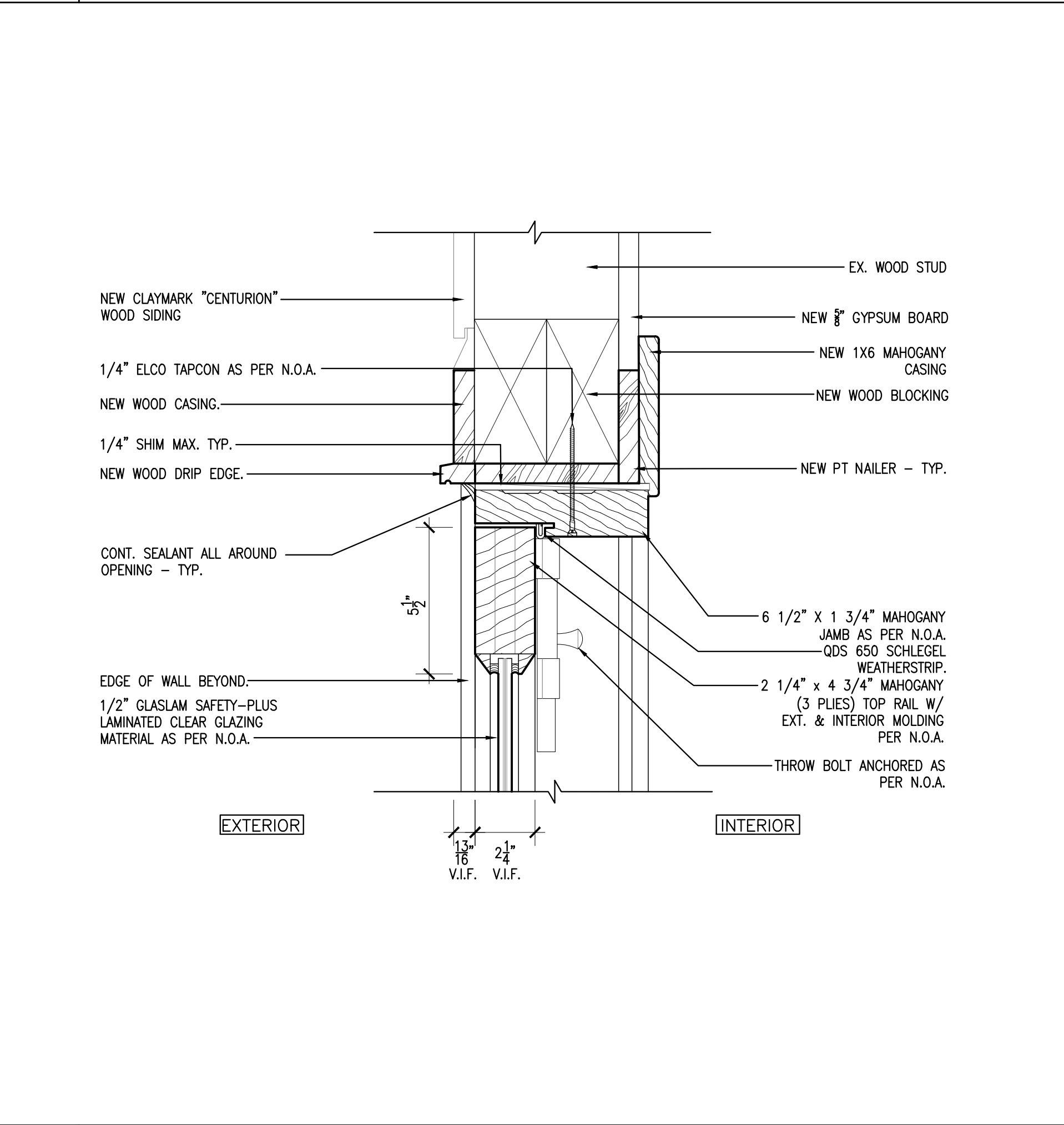
**2 KEYNOTES**

DOOR SCHEDULE														
DOOR NUMBER	ROOM NUMBER	DOOR SIZE			DOOR				FRAME				HARDWARE MODEL #	
		WIDTH	HEIGHT	THICK	OPS	TYPE	MATL	FINISH	MATL/TYPE	HEAD	JAMB	THRESH.		FINISH
1	EXT	3'-0"	6'-11 1/4"	1 3/4"	SWING	A	WD	PAINT	WD	4/A5.00	5/A5.00	6/A5.00	PAINT	XX
2	EXT	3'-0"	6'-11 1/4"	1 3/4"	SWING	B	WD	PAINT	WD	4/A5.00	5/A5.00	6/A5.00	PAINT	
3	EXT	3'-0"	6'-11 1/4"	1 3/4"	SWING	C	WD	PAINT	WD	4/A5.00	5/A5.00	6/A5.00	PAINT	
4	INT	2'-10"	7'-0"	1 3/4"	SWING	D	WD	PAINT	WD	3/A5.01	4/A5.01	5/A5.01	PAINT	
5	ELEC.	2'-10"	6'-0"	1 3/4"	SWING	E	WD	PAINT	WD	3/A5.01	4/A5.01	5/A5.01	PAINT	
6	ELEC.	2'-10"	7'-0"	1 3/4"	SWING	F	WD	PAINT	WD	3/A5.01	4/A5.01	5/A5.01	PAINT	

**1 PROPOSED EXTERIOR DOOR TYPES**

SCALE: 3/4" = 1'-0"

**3 DOOR SCHEDULE**



**4 WOOD DOOR HEAD DETAIL**

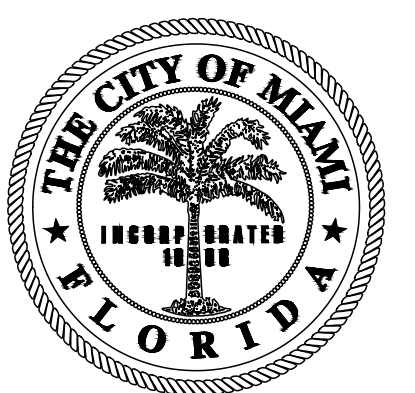
SCALE: 3" = 1'-0"

**5 WOOD DOOR JAMB DETAIL**

SCALE: 3" = 1'-0"

**6 WOOD DOOR SILL DETAIL**

SCALE: 3" = 1'-0"



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NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**

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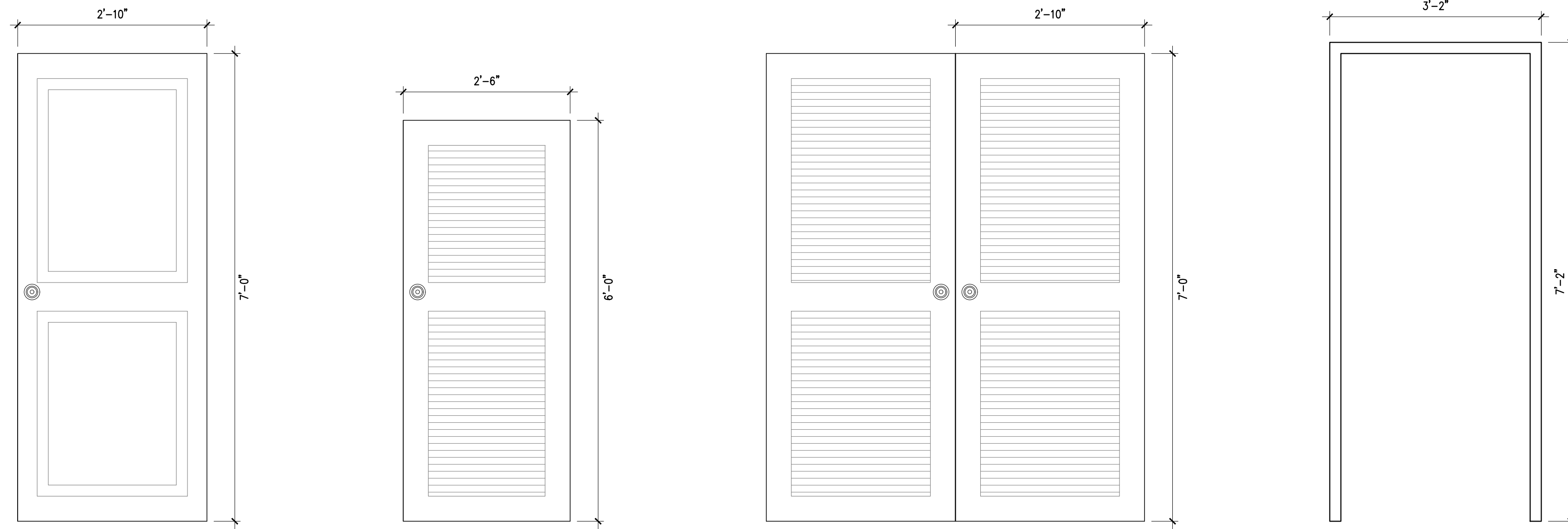
**RJ HEISENBOTTLE**  
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**PROPOSED EXTERIOR DOOR TYPES AND DETAILS**

PROJECT NO. B-193404  
DRAWING NO.

**A5.00**





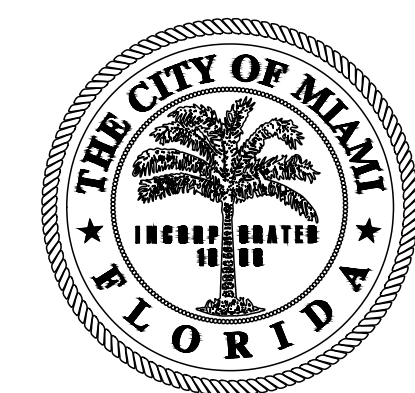
1-04 D  
NEW WOOD PANELED DOOR

1-05 E  
NEW WOOD LOUVERED DOOR

1-06 F  
NEW WOOD LOUVERED DOORS

1-07  
NEW WOOD FRAME

- PROPOSED INTERIOR DOOR NOTES:
- G.C. SHALL BE RESPONSIBLE FOR CALCULATING QUANTITIES.
  - DOOR OPENINGS MAY VARY. FIELD VERIFY ALL WOOD FRAME WALL OPENINGS PRIOR TO ORDERING NEW REPLACEMENT DOORS.
  - PROVIDE SHOP DRAWINGS SHOWING ALL DOOR AND INSTALLATION DETAILS FOR ARCHITECT'S REVIEW AND APPROVAL. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO SUBMITTAL OF SHOP DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH EXISTING CONDITIONS.
  - BASE OF 2-PANEL DOOR DESIGN: BROSCO OPEN LOUVRE - 1-1/4" LOUVRE PINE P-730
  - BASE OF LOUVRE DOOR DESIGN: BROSCO PRIMED PANEL DOOR - FLAT PANEL PR-22S



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**1 PROPOSED INTERIOR DOOR TYPES**

**2 KEYNOTES**

SCALE: 3/4" = 1'-0"

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**

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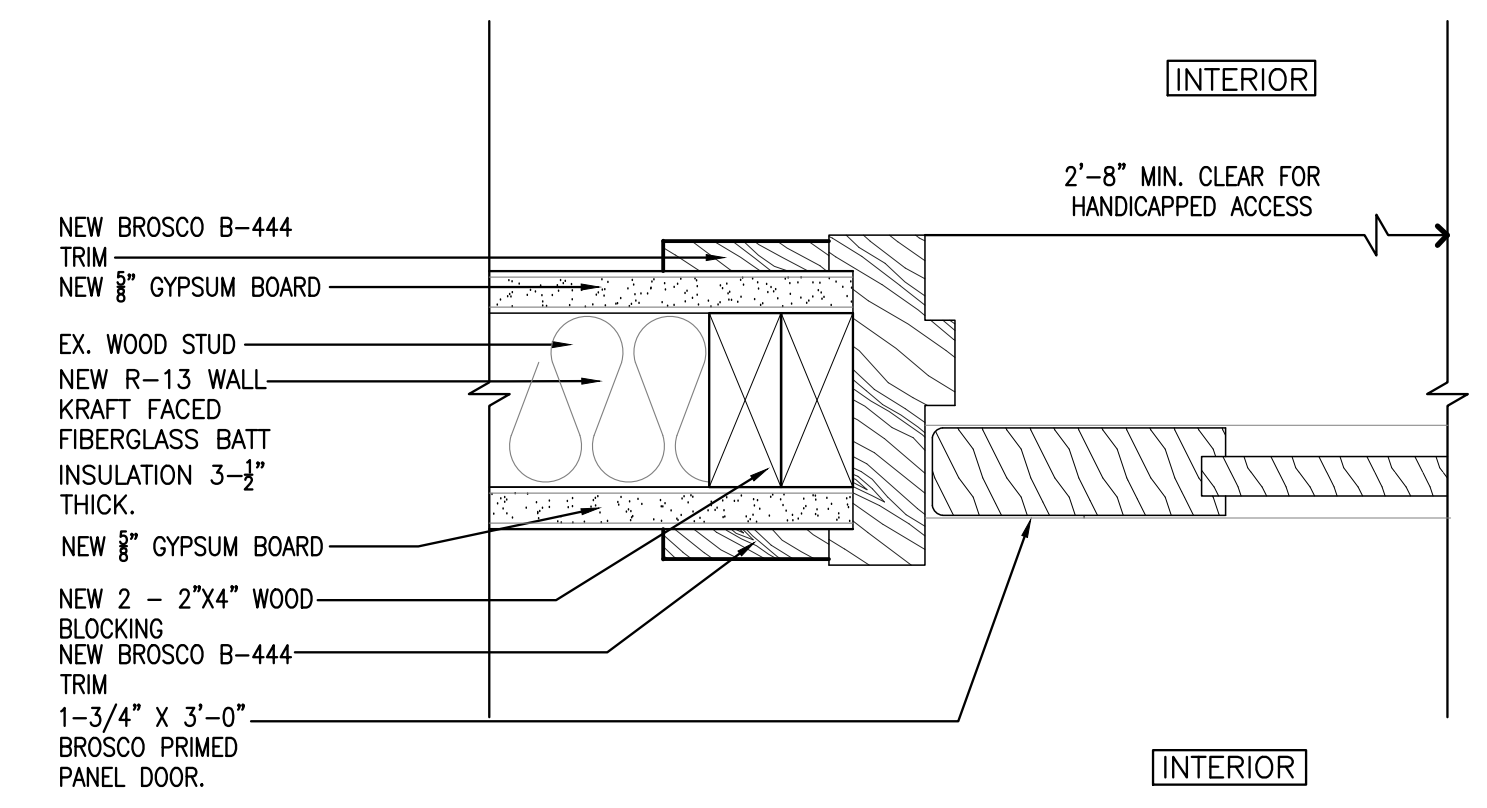
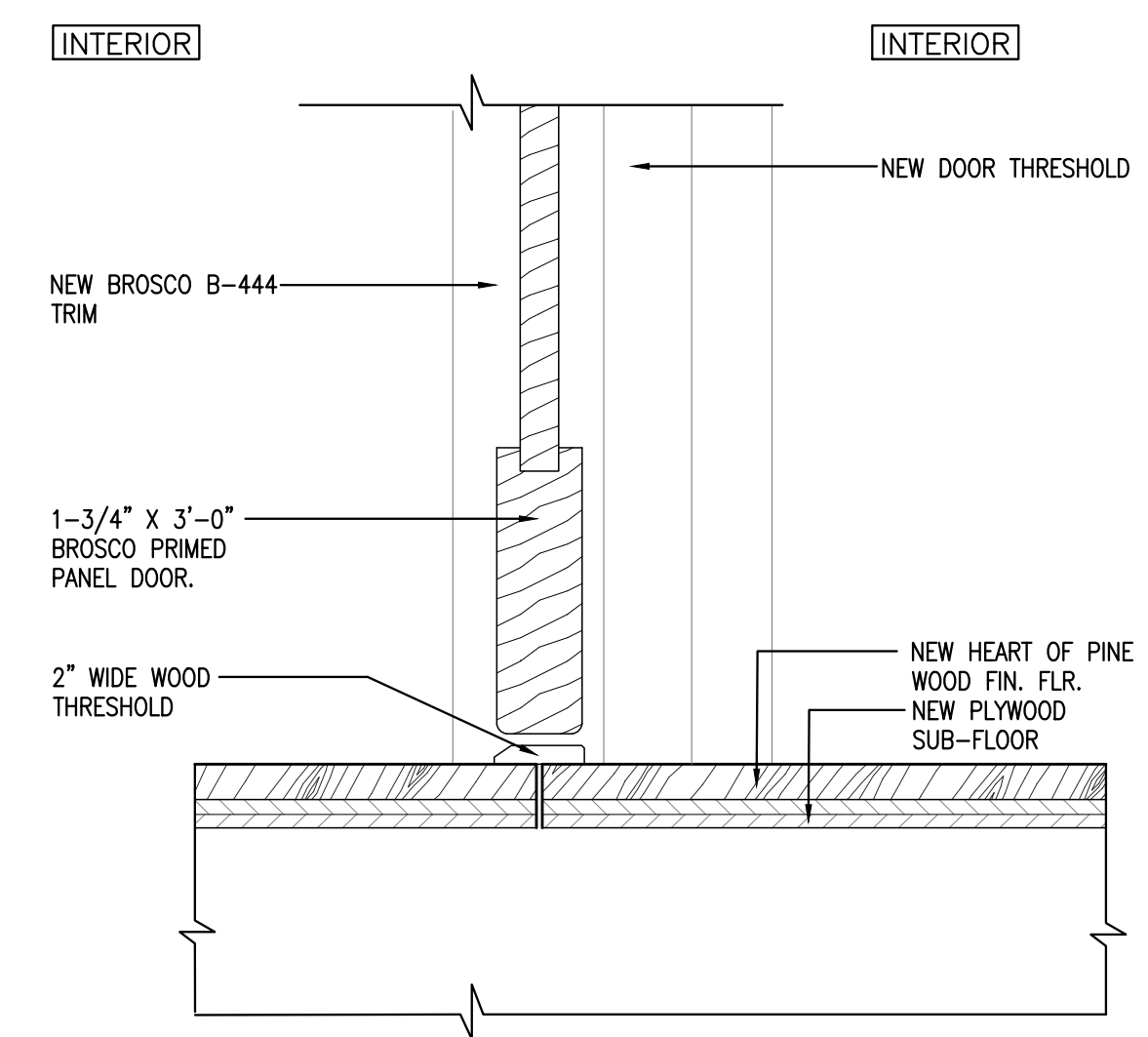
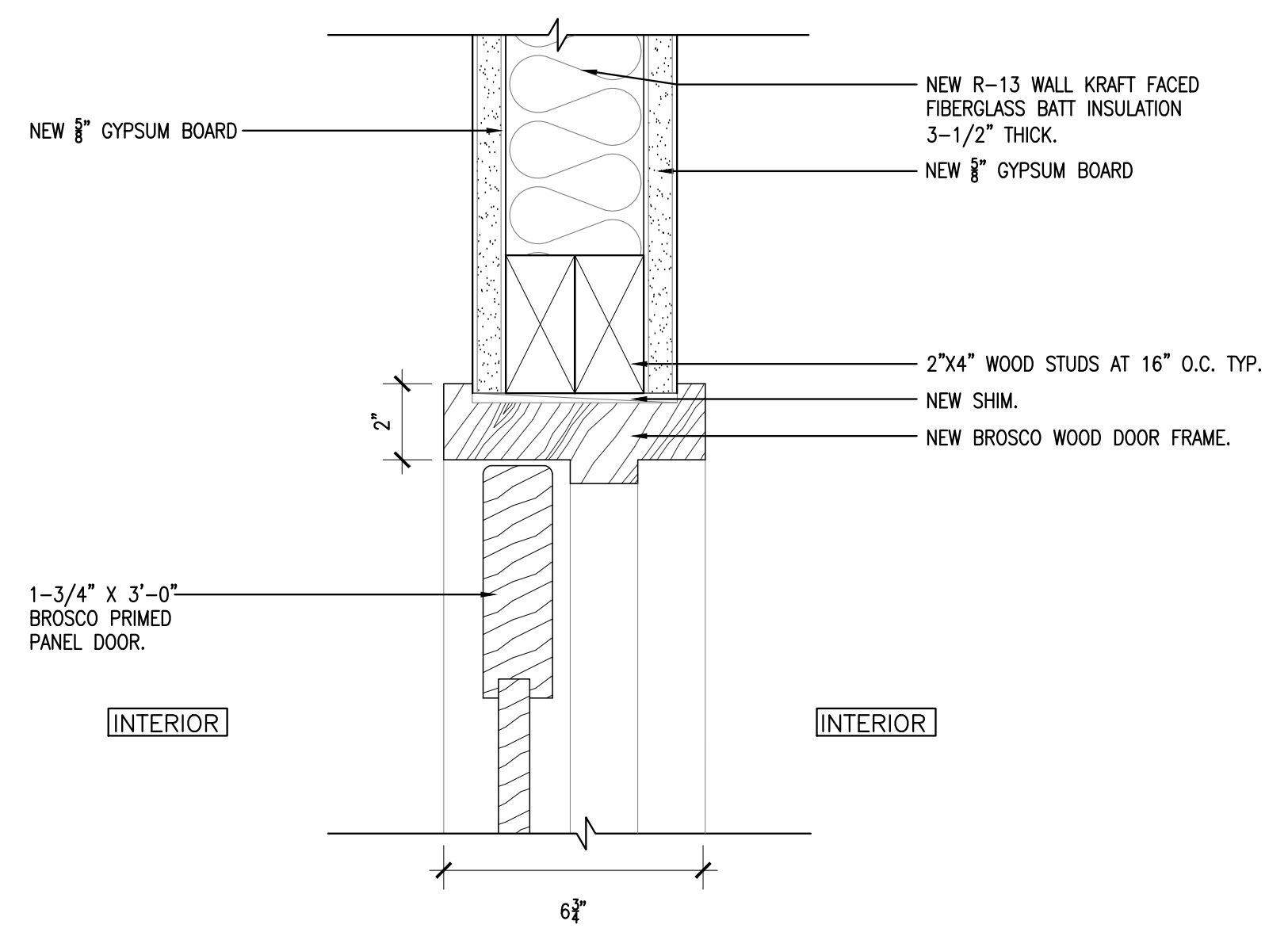
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SHEET TITLE

**PROPOSED INTERIOR DOOR TYPES AND DETAILS**

PROJECT NO. B-193404  
DRAWING NO.

**A5.01**



**3 WOOD DOOR HEAD DETAIL**

**4 WOOD DOOR JAMB DETAIL**

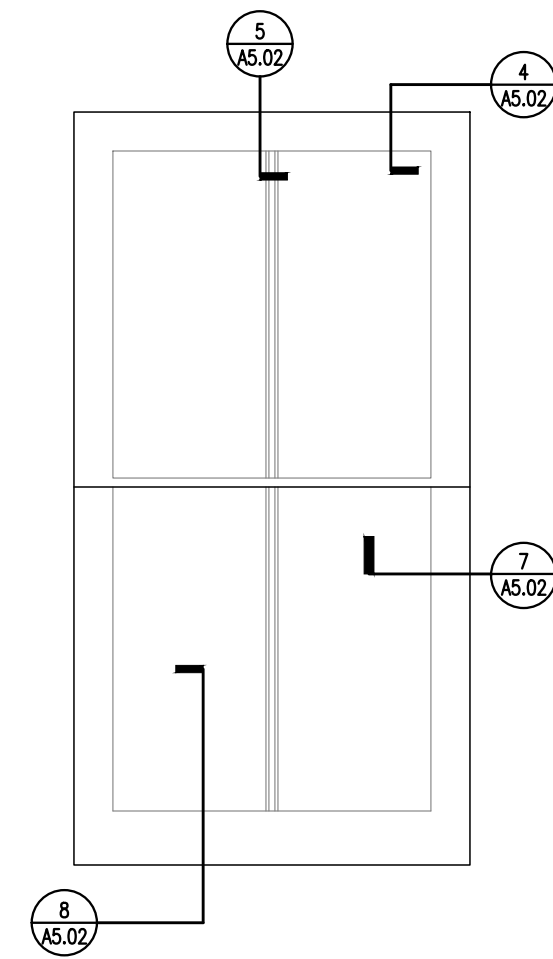
**5 WOOD DOOR SILL DETAIL**

SCALE: 3" = 1'-0"

SCALE: 3" = 1'-0"

SCALE: 3" = 1'-0"

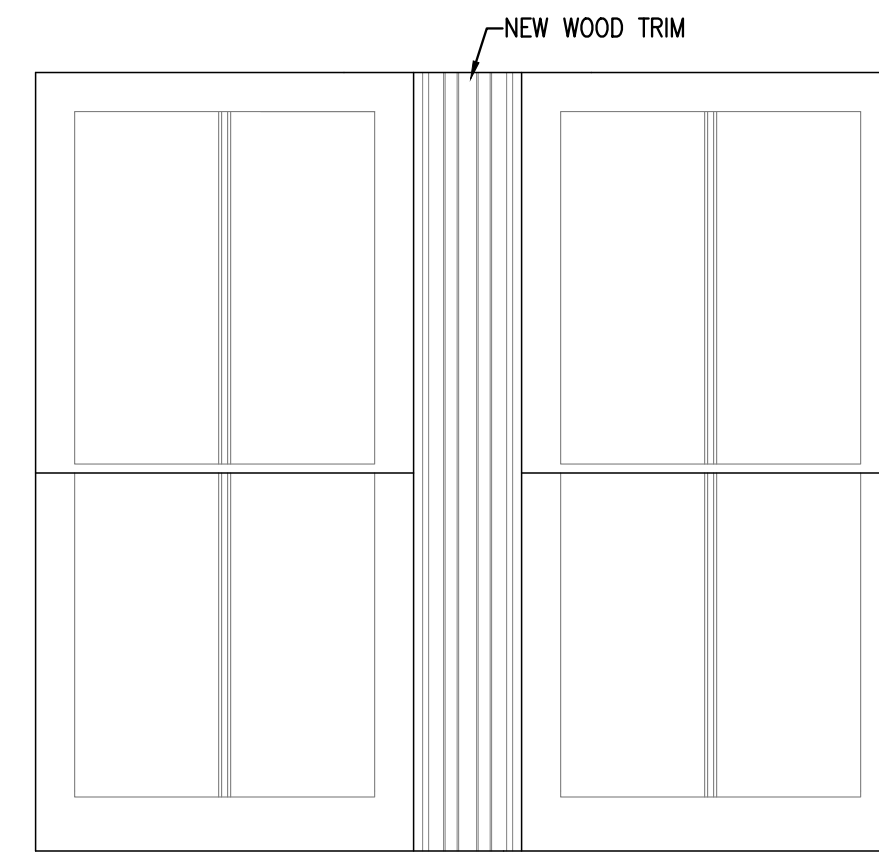




TYPE A

NEW ALUMINUM CLAD WOOD DOUBLE HUNG WINDOW

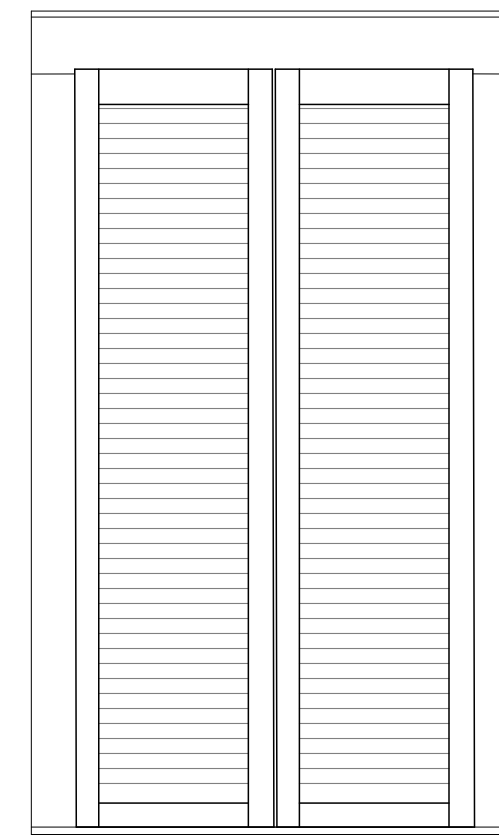
CCL TEST REPORT #: ESP020120P-1728.2



TYPE B

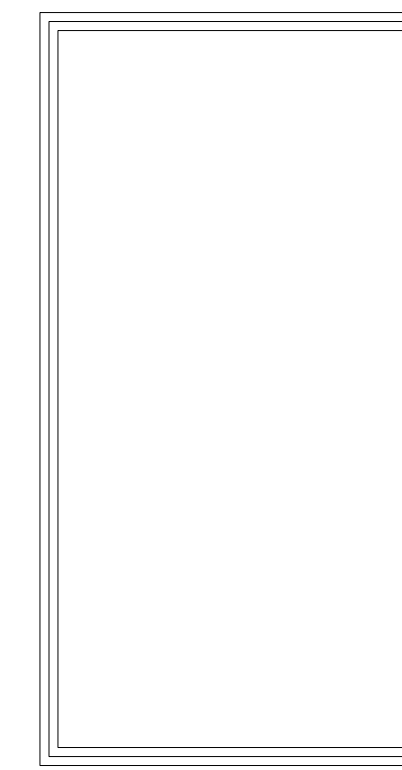
NEW ALUMINUM CLAD WOOD WINDOW

CCL TEST REPORT #: ESP020120P-1728.2



TYPE C

NEW WOOD SHUTTERS



S1-A

NEW WOOD WINDOW SCREEN

WINDOW SCREEN AND SHUTTER RESTORATION NOTES:

1. REMOVE PEELING OR FLAKING PAINT AS REQUIRED USING A PUTTY KNIFE, PAINT SCRAPER, SANDPAPER, OR SANDING BLOCK. SCRAPING SHOULD BE DONE WITH CARE TO AVOID GAUGING THE WOOD. SANDING SHOULD BE DONE WITH THE GRAIN.
2. WIPE ALL SURFACES CLEAN PRIOR TO APPLYING PRIMER COAT AND FINISH PAINT COAT. COLOR TO MATCH EXISTING.
3. CLEAN ALL EXISTING HARDWARE USING A SOLVENT LIKE MINERAL SPIRITS AND WIRE OR HEAVY DUTY NYLON BRUSH TO GOOD WORKING ORDER.
4. REPLACE BROKEN, MISSING OR DAMAGED SHUTTER HARDWARE (LATCHES, S-HOOKS) TO MATCH EXISTING.
5. BASE OF SHUTTER DESIGN: BROSCO CLASSIC COLLECTION STANDARD FAUX LOUVRE.

PROPOSED WINDOW NOTES:

1. G.C. SHALL BE RESPONSIBLE FOR CALCULATING QUANTITIES.
2. WINDOW OPENINGS MAY VARY. FIELD VERIFY ALL WOOD FRAME WALL OPENINGS PRIOR TO ORDERING NEW REPLACEMENT WINDOWS.
3. PROVIDE SHOP DRAWINGS SHOWING ALL WINDOW AND INSTALLATION DETAILS FOR ARCHITECT'S REVIEW AND APPROVAL. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO SUBMITTAL OF SHOP DRAWING. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH EXISTING CONDITIONS.
4. ALL WINDOWS SHALL BE ALUMINUM CLAD WOOD WINDOWS. COLOR TO BE SELECTED BY ARCHITECT UPON SUBMITTAL OF FULL COLOR SELECTIONS OF AVAILABLE COLORS.
5. PROVIDE JAMB COVERS FOR EXTERIOR, COLOR TO MATCH WINDOW.
6. PROVIDE SASH LOCKS - FINISH TO MATCH EXISTING.
7. NOT ALL WINDOW DETAILS MAY BE USED. REFERENCE TYPICAL WINDOW DETAIL LOCATION.
8. BASE OF WINDOW DESIGN: WEATHERSEILD PREMIUM COASTAL SERIES DOUBLE HUNG WINDOW.



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1 PROPOSED WINDOW TYPES

SCALE: 3/4" = 1'-0"

2 KEYNOTES

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

PROJECT TEAM



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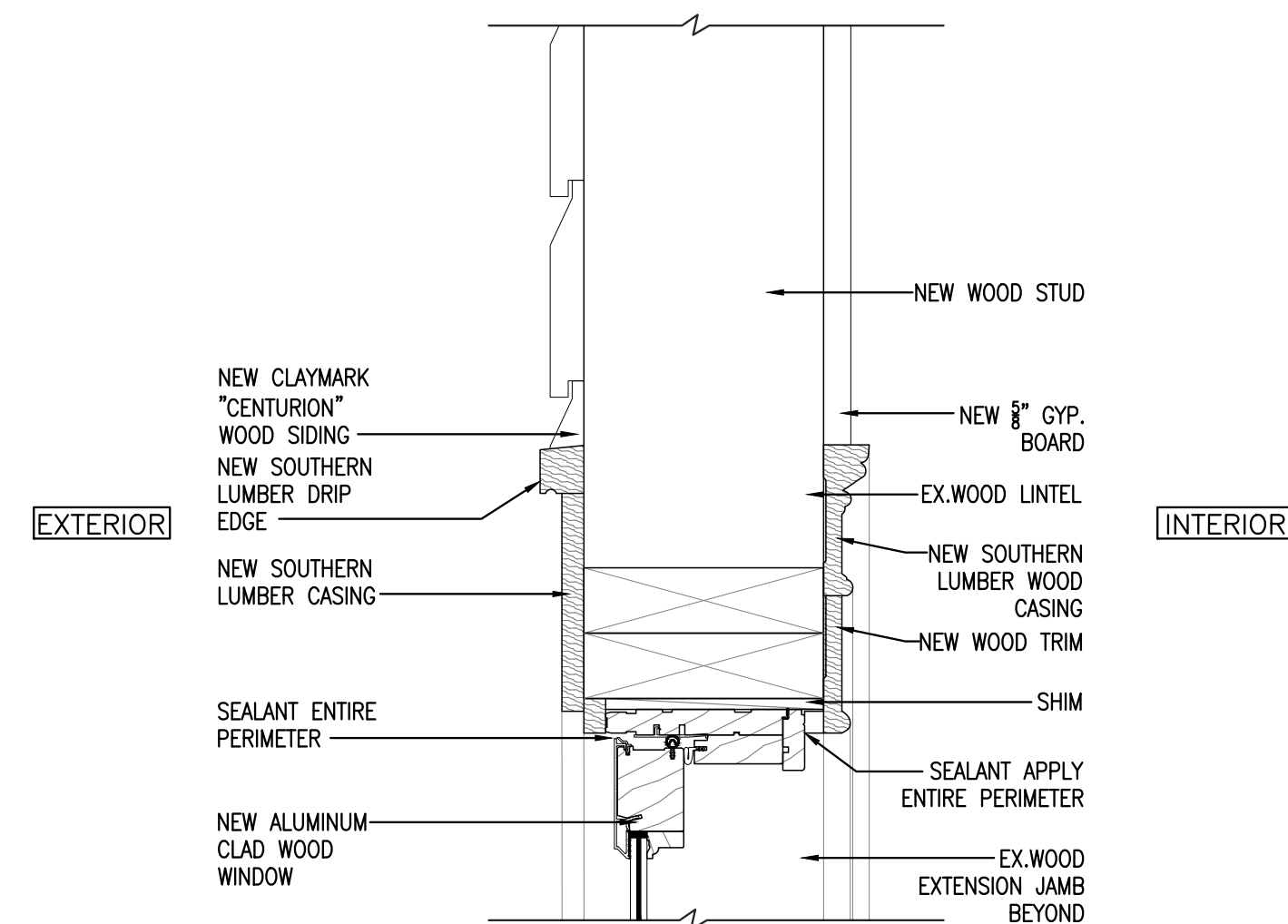
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SHEET TITLE

PROPOSED WINDOW TYPES AND DETAILS

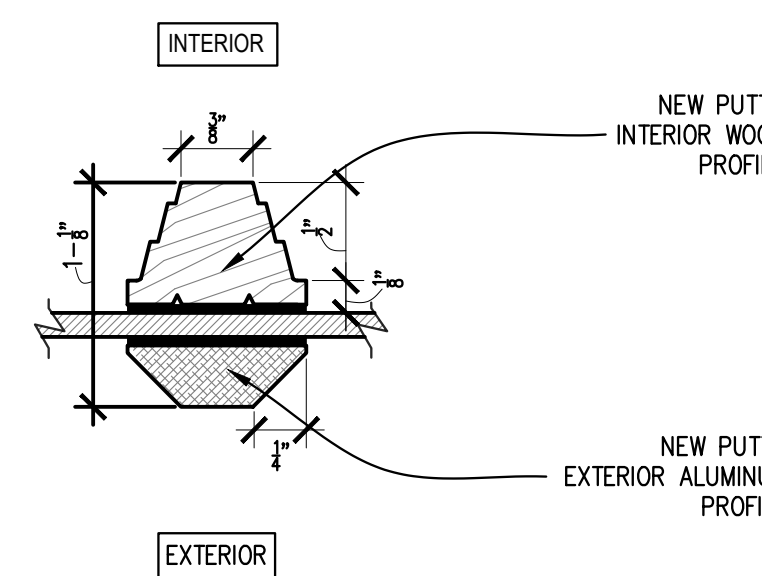
PROJECT NO. B-193404  
DRAWING NO.

A5.02



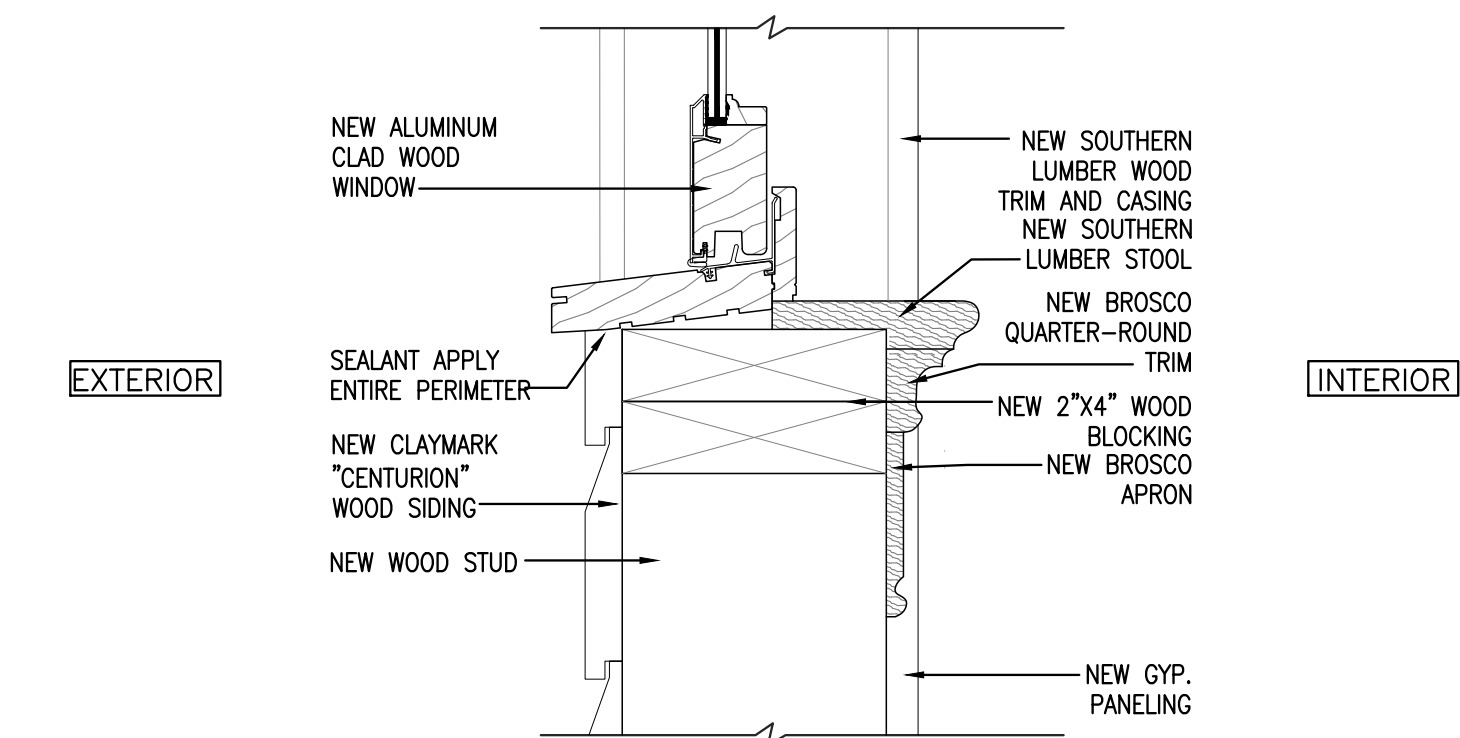
3 ALUMINUM CLAD WOOD WINDOW HEAD

SCALE: 3" = 1'-0"



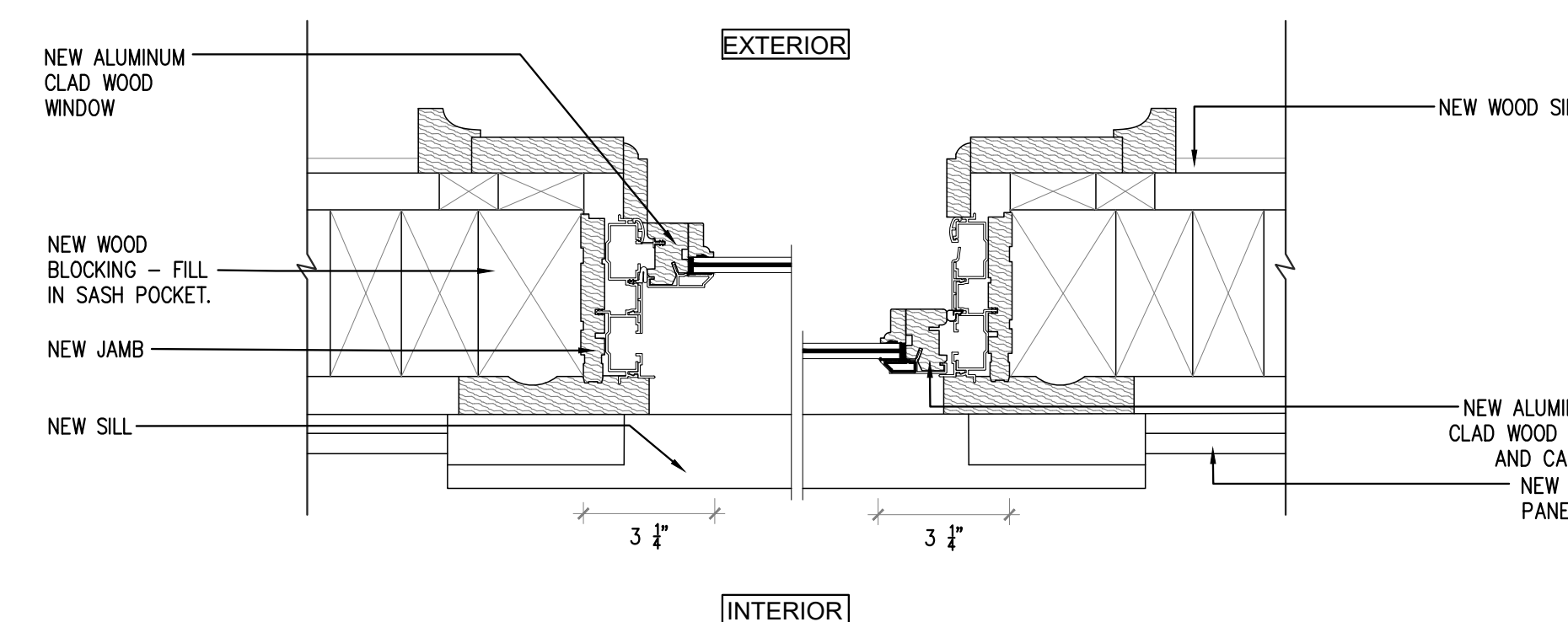
4 MUNTIN DETAIL

SCALE: 1" = 1'-0"



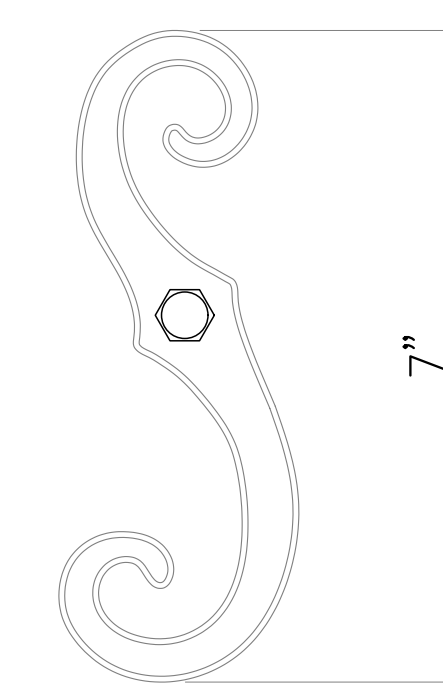
6 ALUMINUM CLAD WOOD WINDOW SILL

SCALE: 3" = 1'-0"



5 ALUMINUM CLAD WOOD WINDOW JAMB

SCALE: 3" = 1'-0"



7 SHUTTER S-HOOK DETAIL

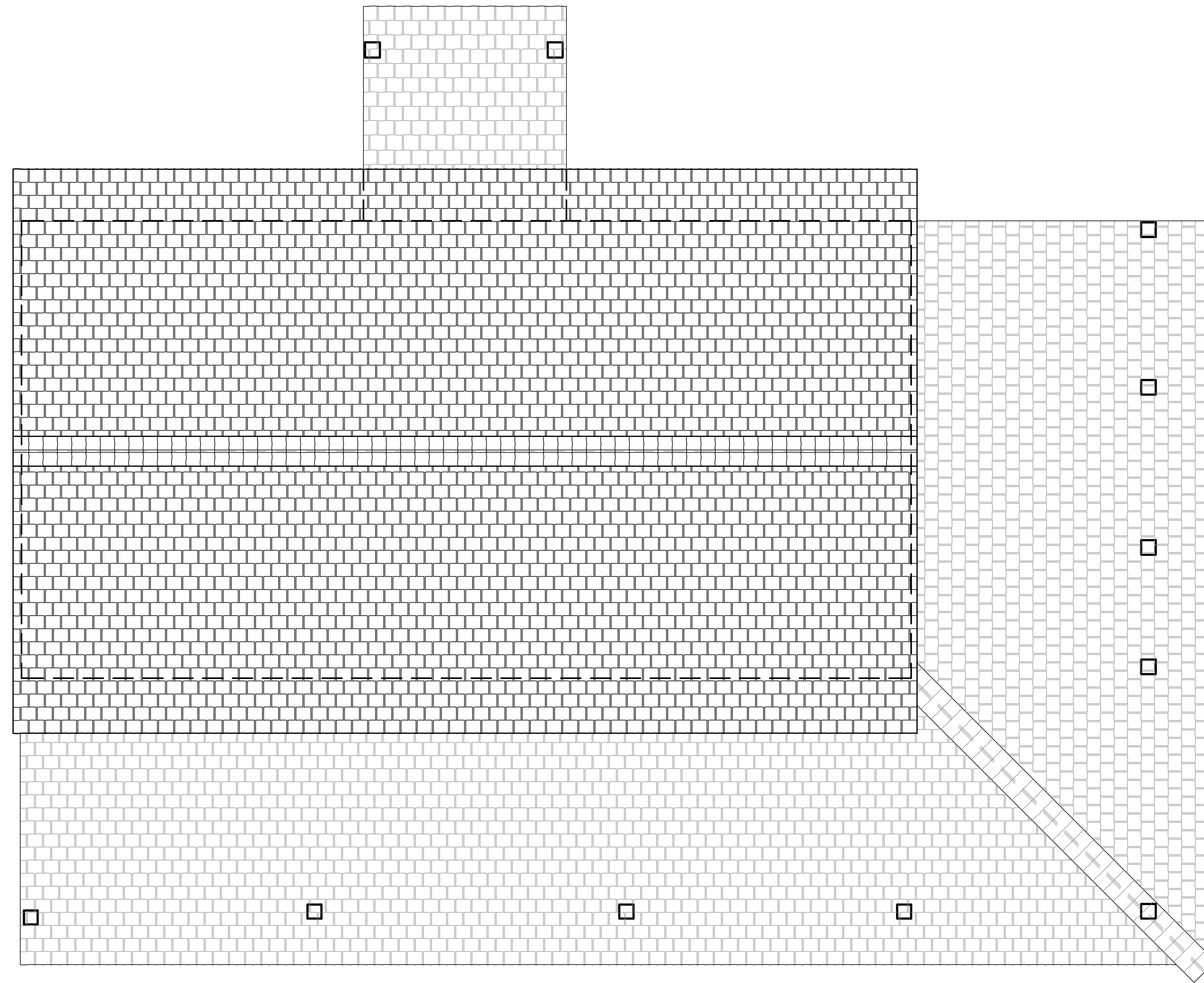
SCALE: 1/2" = 1'-0"



# WAGNER HOMESTEAD EVALUATION

404 NORTH WEST  
3RD STREET, MIAMI  
FLORIDA 33128

## EXISTING CONDITIONS



NO.	REVISIONS/SUBMISSIONS	DATE

PROJECT TEAM



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FLORIDA REGISTRATION NUMBER: AR 0010865

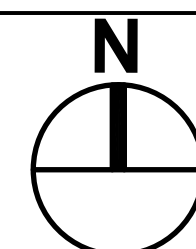
SHEET TITLE

### FIRST FLOOR PLAN

SEAL	ISSUE DATE	###
	PROJECT NO.	----
	DRAWING NO.	
		A1.00
DATE: RICHARD J. HEISENBOTTLE FL REGISTRATION No. AR0010865 REGISTERED ARCHITECT		

**1** FIRST FLOOR PLAN

**A1.00** SCALE: 3/8" = 1'-0"

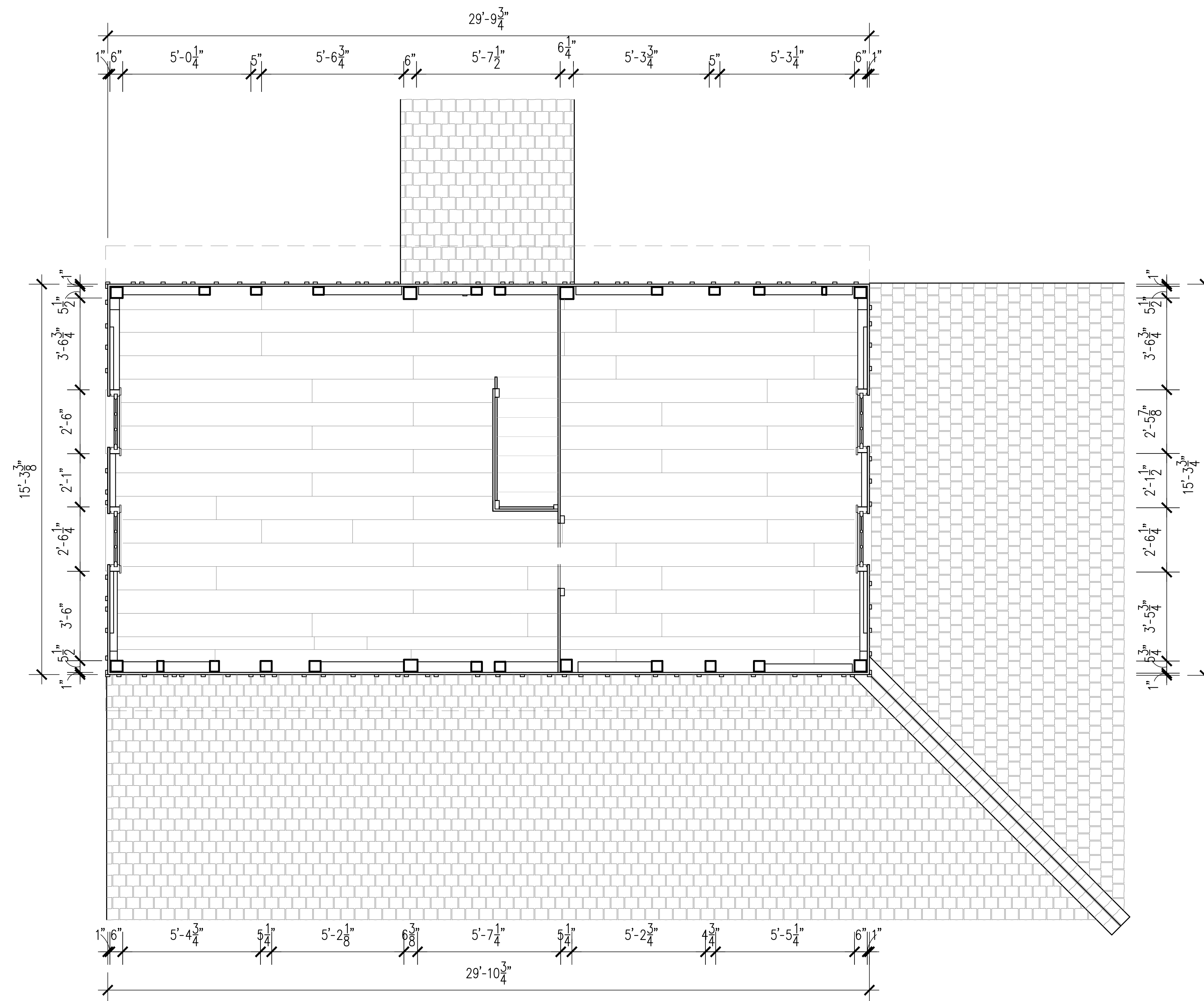




# WAGNER HOMESTEAD EVALUATION

404 NORTH WEST  
3RD STREET, MIAMI  
FLORIDA 33128

## EXISTING CONDITIONS



NO.	REVISIONS/SUBMISSIONS	DATE

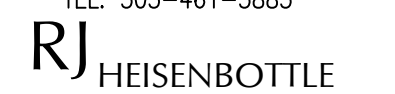
PROJECT TEAM



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FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

## SECOND FLOOR PLAN

SEAL	ISSUE DATE	###
	PROJECT NO.	----
	DRAWING NO.	
	DATE:	
	RICHARD J. HEISENBOTTLE	
	FL REGISTRATION No. AR0010865	
	REGISTERED ARCHITECT	

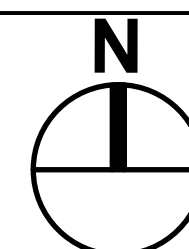
A1.01

1

### SECOND FLOOR PLAN

A1.01

SCALE: 3/8" = 1'-0"





# WAGNER HOMESTEAD EVALUATION

404 NORTH WEST  
3RD STREET, MIAMI  
FLORIDA 33128

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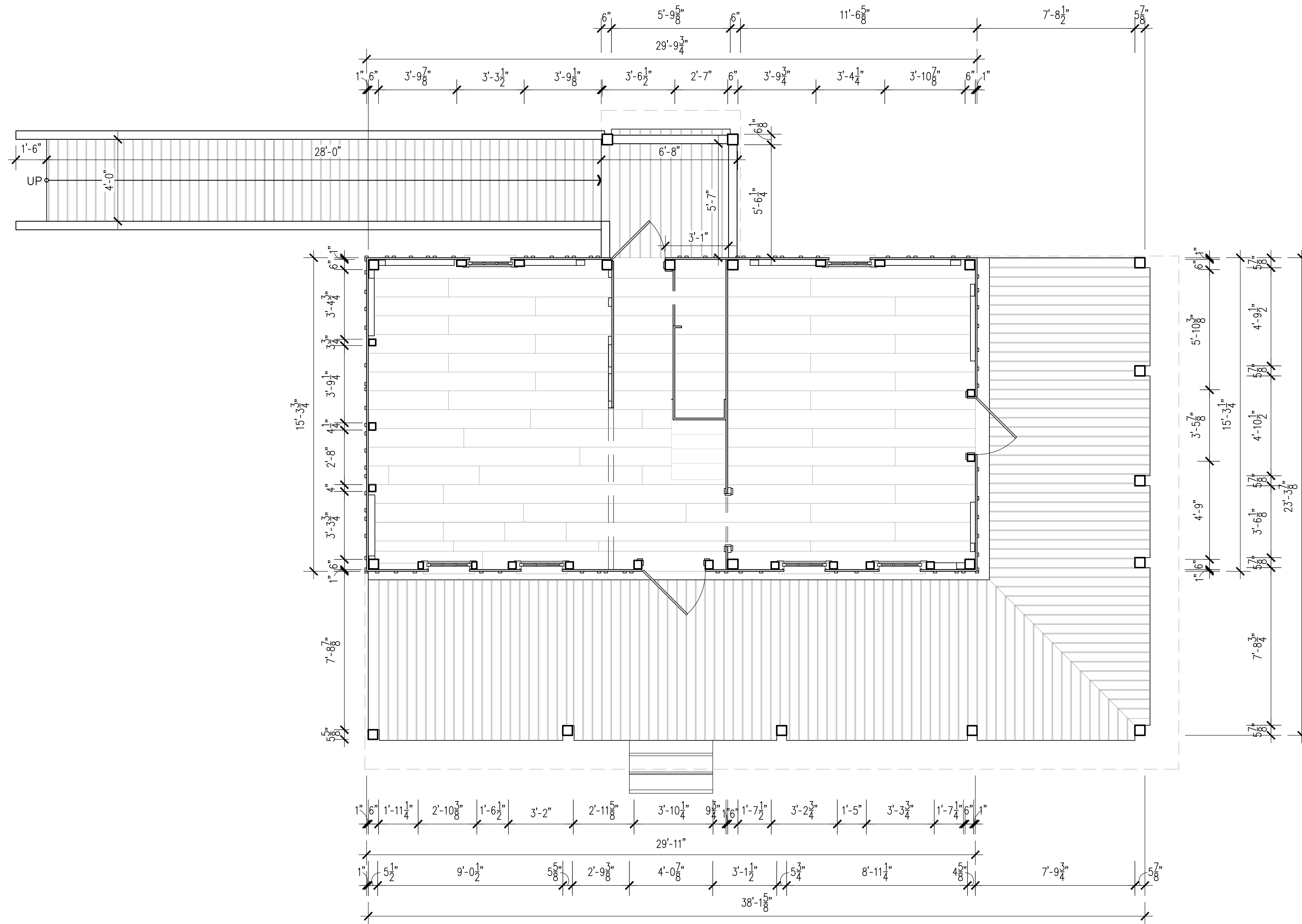
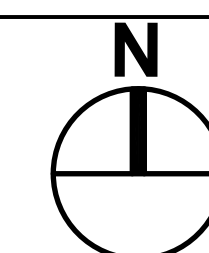
RJ HEISENBOTTLE  
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TELEPHONE: 305-446-7799 FAX: 305-446-9275  
FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

## ROOF PLAN

SEAL	ISSUE DATE	###
	PROJECT NO.	
	DRAWING NO.	
	DATE:	
	RICHARD J. HEISENBOTTLE	
	FL REGISTRATION No. AR0010865	
	REGISTERED ARCHITECT	

A1.02



1

### ROOF PLAN

A1.02

SCALE: 3/8" = 1'-0"



WAGNER  
HOMESTEAD  
EVALUATION

404 NORTH WEST  
3RD STREET, MIAMI  
FLORIDA 33128

EXISTING  
CONDITIONS

NO.	REVISIONS/SUBMISSIONS	DATE

PROJECT TEAM



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FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

NORTH ELEVATION

SEAL	ISSUE DATE	###
	PROJECT NO.	----
	DRAWING NO.	
	A2.00	
<small>DATE: RICHARD J. HEISENBOTTLE FL REGISTRATION No. AR0010865 REGISTERED ARCHITECT</small>		

TOP OF RIDGE  
ELEV. +19'-7"

12'-6"

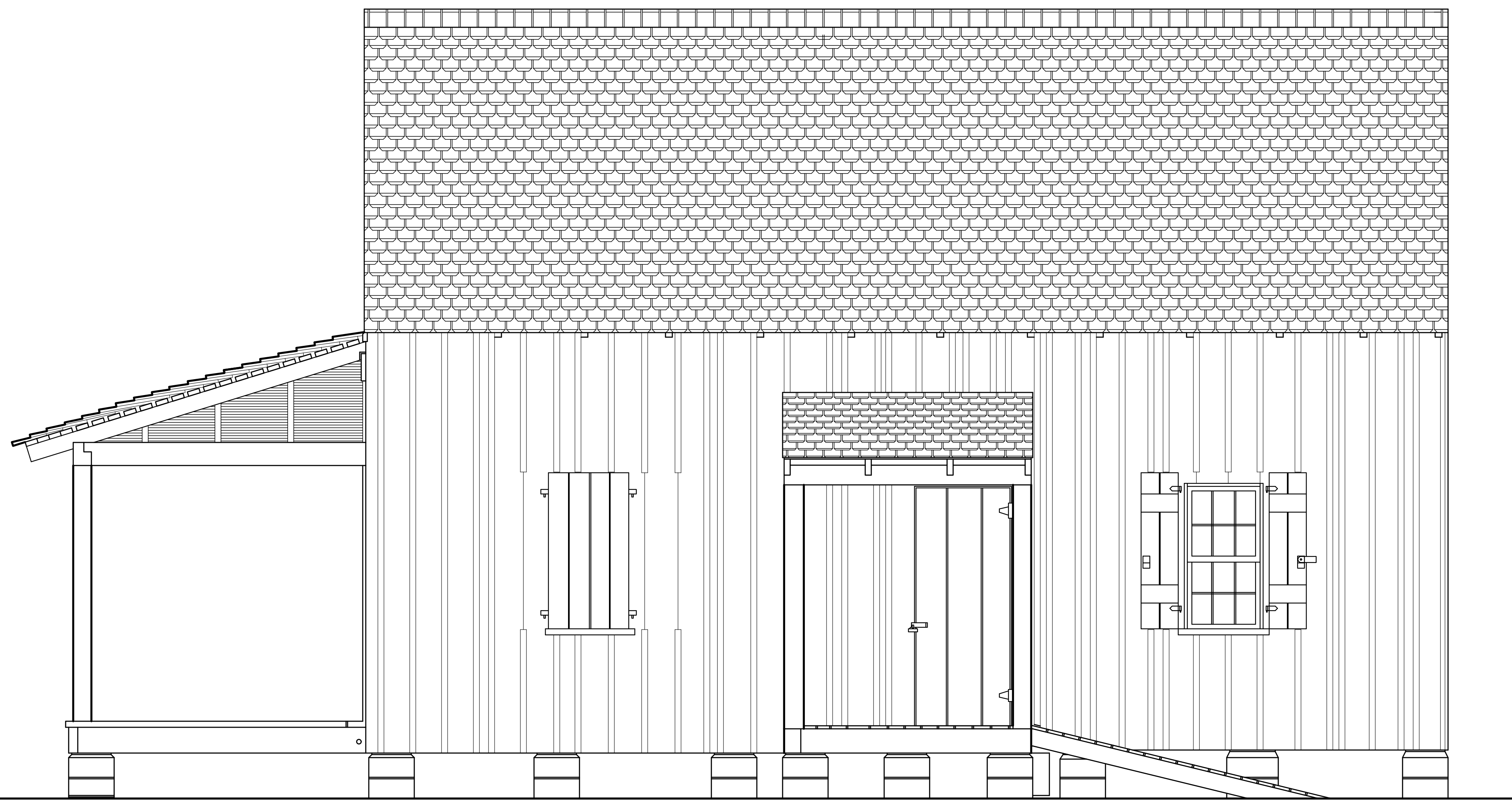
BOTTOM  
OF BEAM  
ELEV. +7'-1"

7'-1"

FIRST FLOOR  
T/FINISH FLOOR  
ELEV. +0'-0"

2'-4"

GROUND LEVEL  
ELEV. -2'-4"



1 NORTH ELEVATION

A2.00 SCALE: 1/2" = 1'-0"











# WAGNER HOMESTEAD EVALUATION

404 NORTH WEST  
3RD STREET, MIAMI  
FLORIDA 33128

## EXISTING CONDITIONS

NO.	REVISIONS/SUBMISSIONS	DATE

PROJECT TEAM



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FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

## WEST ELEVATION

SEAL	ISSUE DATE	###
	PROJECT NO.	----
	DRAWING NO.	
	A2.03	
<small>DATE: RICHARD J. HEISENBOTTLE FL REGISTRATION No. AR0010865 REGISTERED ARCHITECT</small>		

TOP OF RIDGE  
ELEV. +19'-6"

12'-6"

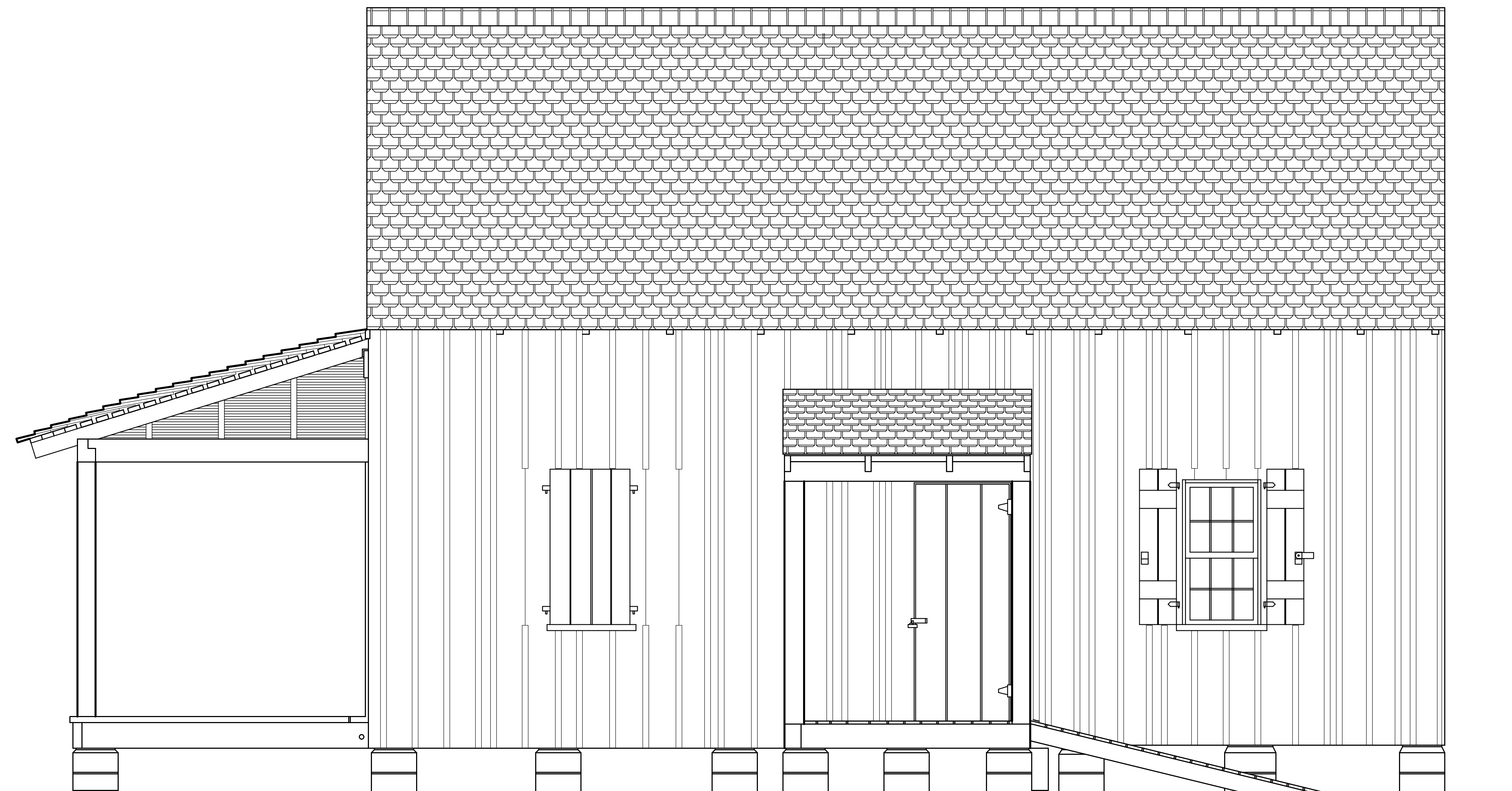
BOTTOM  
OF BEAM  
ELEV. +7'-1"

7'-1"

FIRST FLOOR  
T/FINISH FLOOR  
ELEV. +0'-0"

2'-4"

GROUND LEVEL  
ELEV. -2'-4"



1

### WEST ELEVATIONS

A2.03

SCALE: 1/2" = 1'-0"





















# **SIMON BOLIVAR PARK**

1 SW SOUTH RIVER DRIVE, MIAMI, FLORIDA



**DESIGN CONCEPT**





# LET'S PLAY UNDER THE BRIDGE

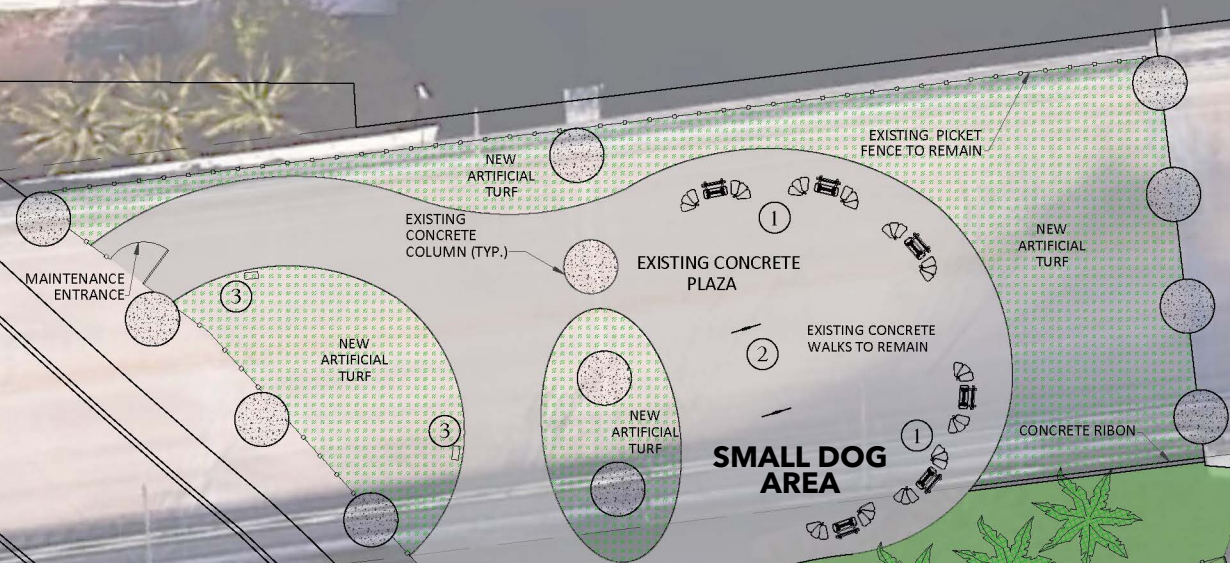






W. FLAGLER STREET

S RIVER DR.



SMALL DOG AREA



LARGE DOG AREA

**LEGEND**

- ① BENCHES
- ② HOOPS (DOG EQUIPMENT)
- ③ WASTE STATIONS
- ④ PARK SIGN
- ⑤ RAMP
- ⑥ STEPS

CONCRETE	
SOD	
ARTIFICIAL TURF	

SKETCH - PLAN VIEW N.T.S.





# SMALL DOG AREA - EXISTING SPACE UNDER THE BRIDGE



**1 - BENCHES**



**2 - HOOPS**



**3 - WASTE STATIONS**



**4 - PARK SIGN**

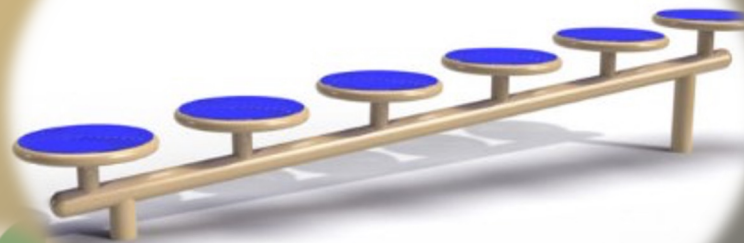




# LARGE DOG AREA - NEW SPACE



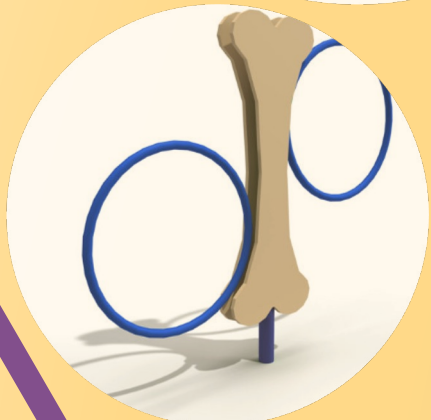
1 - BENCHES



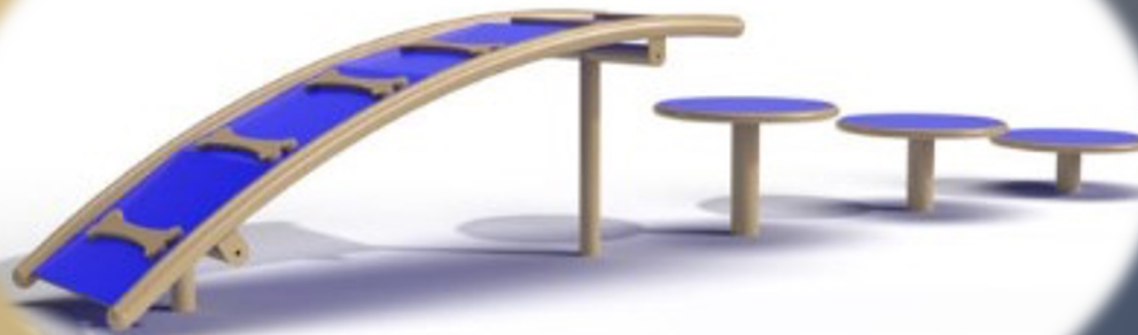
6 - STEPS



3 - WASTE STATIONS



2 - HOOP



5 - RAMP



4 - PARK SIGN



## **NEXT STEPS**

**A- CONTACT FDOT PRELIMINARY CONCEPT PLAN APPROVAL**

**B - SCHEMATIC DESIGN FOR COMMUNITY MEETING**

**C - COMPLETE DESIGN AND CONSTRUCTION DOCUMENTS**







W. FLAGLER STREET

PROJECT LOCATION

S. RIVER DR.

SW 1st STREET

SW 2nd STREET

SW 4th AVENUE

SW 3rd STREET


JOSE MARTI PARK





# Memorandum



**Date:** SEP 23 2010  
**To:** Honorable Chairman Dennis C. Moss  
and Members, Board of County Commissioners  
**From:** George M. Burgess  
County Manager   
**Subject:** Report of Follow-up Comments from the Florida Fish and Wildlife Conservation  
Commission on Recommendations of the Manatee Protection Plan Review  
Committee for Revision of the Miami-Dade County Manatee Protection Plan

---

You may recall that the final written recommendations of the Manatee Protection Plan Review Committee were provided to members of the Board of County Commissioners (Board) in November 2009 (attached). In addition, the Committee's recommendations as well as data and analysis reports were also provided to the Florida Fish and Wildlife Conservation Commission (FWC) in order to elicit initial comment on revisions to the Manatee Protection Plan. Following initial comments from FWC received in February 2010 (attached), DERM staff coordinated with FWC to further discuss the updated data and analysis generated during the MPPRC review process and the recommendations of the MPPRC.

Please find attached FWC's follow-up comments dated August 11, 2010 on the final written recommendations of the Manatee Protection Plan Review Committee (MPPRC).

## **Background**

Section 370.12(2), Florida Statutes, requires counties to adopt a local Manatee Protection Plan (MPP), which must be approved by the FWC. Miami-Dade County's present MPP was adopted in 1995 and is approved by both the FWC and the US Fish and Wildlife Service. Changes to the County's approved MPP must also be reviewed and approved by these agencies.

The MPPRC was established in 2007 by Ordinance No. 07-144 to provide advisory recommendations to the Board regarding the need for amendments, revisions and additions to the County's approved MPP, consistent with manatee protection regulations of the State of Florida. The ordinance further states that recommendations shall be in accordance with the guidelines and requirements of the FWC statewide Manatee Management Plan and shall be based on updated information, data and analysis provided by the Department of Environmental Resources Management (DERM), including but not limited to the requirements of FWC, as well as other relevant information. The MPPRC concluded its work in October 2009 with a series of motions identifying components of the MPP that were recommended for revision or clarification. The final written recommendations of the MPPRC were provided to members of the Board in November 2009. The MPPRC recommendations as well as updated data and analysis reports relating to manatee distribution and mortality, and boat travel patterns, were also provided to the FWC in order to elicit initial comment on suggested revisions to the MPP.

In February 2010, FWC provided initial preliminary comments on the recommendations made by the MPPRC. FWC's initial response acknowledged the County's efforts in gathering updated information and data analysis, and emphasized that proposed revisions to the MPP must be supported by this objective data. However, FWC indicated that it was not clear how this data was considered in the Committee's recommendations, and further stated that it would be difficult for FWC to concur with several of the Committee's recommendations as currently proposed. FWC also reiterated the importance of early coordination with its staff and the US Fish and



Wildlife Service (USFWS), to achieve concurrence with any proposed revision to local MPPs and to assure that the appropriate level of manatee protection is provided. FWC recommended further discussion of proposed revisions and review of the supporting data between county, state and federal staff as the most expeditious path to revising Miami-Dade County's MPP.

Following receipt of these initial comments from FWC, DERM staff further coordinated with FWC to discuss the updated data and analysis generated during the MPPRC review process and discuss recommendations of the MPPRC. FWC has now provided additional, more detailed feedback on the MPPRC recommendations (attached FWC Follow-up Review letter dated August 11, 2010). In addition, we have received correspondence from the USFWS regarding FWC comments (attached). FWC's technical feedback does not constitute an agency action, but rather is intended only to provide guidance on the most productive forward path for formal review and approval of a revised plan. Although FWC's comments identify certain elements of the MPPRC recommendations that they cannot support, FWC has provided additional guidance on recommended plan revisions that are likely to be acceptable to their agency, subject to development of acceptable specific language to be included in the revised MPP. As compared to their initial comments, the FWC is now willing to consider a process to allow for transferring the use of boat slips from one site to another, and suggested that the issue be addressed countywide rather than limiting it to the Miami River. In addition, FWC recommended updating the definition of existing facilities in the MPP and they provided guidance on an acceptable approach. Although FWC did not agree with the recommendation for a ten-fold increase in transitory dock density in areas of downtown Miami and the Miami River (FWC noted that this area has the highest concentration of manatee deaths in the County), they did suggest an opportunity for limited expansion of transitory boat slips in this area.

FWC has clearly indicated that formal approval of any plan revisions will require review of the specific proposed revision language in the context of the entire plan. Any revision to the County's approved MPP will ultimately require formal review and approval by the FWC and USFWS. I am therefore instructing DERM staff to work with these agencies to develop specific language for a draft revised MPP based on the recommendations of the MPPRC and the follow-up comments received from FWC. Following development of a draft revised plan and receipt of public comment, the draft revised plan will be presented to the Board for your consideration for transmittal to reviewing agencies for formal review and approval.

If you have questions regarding this matter, please contact Carlos Espinosa, Director of DERM, at 305-372-6754 or me directly.

Attachments:

- FWC's Follow-up Review of the Recommendations from the Miami-Dade County Manatee Protection Plan Review Committee dated August 11, 2010
  - USFWS Letter to FWC dated September 8, 2010
  - Transmittal of Final Written Recommendations of the Manatee Protection Plan Review Committee to Board of County Commissioners dated November 19, 2009
  - FWC's Preliminary Review of the Recommendations from the Miami-Dade County Manatee Protection Plan Review Committee dated February 3, 2010
- c. Honorable Mayor Carlos Alvarez  
Susanne M. Torriente, Sustainability Director  
Carlos Espinosa, P.E. DERM Director





August 11, 2010

Florida Fish  
and Wildlife  
Conservation  
Commission

Mr. Carlos Espinosa, P.E., Director  
Miami-Dade Department of Environmental  
Resources Management  
701 NW 1<sup>st</sup> Ct.  
Miami, Florida 33136

Commissioners  
Rodney Barreto  
Chairman  
Miami

Richard A. Corbett  
Vice Chairman  
Tampa

Kathy Barco  
Jacksonville

Ronald M. Bergeron  
Fort Lauderdale

Dwight Stephenson  
Delray Beach

Kenneth W. Wright  
Winter Park

Brian S. Yablonski  
Tallahassee

Executive Staff  
Nick Wiley  
Executive Director  
Greg Holder  
Assistant Executive Director  
Karen Ventimiglia  
Deputy Chief of Staff

Imperiled Species  
Management Section  
Kipp Frohlich  
Section Leader  
(850) 922-4330  
(850) 922-4338 fax

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resources for their long-term  
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Tallahassee, Florida  
32399-1600  
Voice: (850) 488-4676

Hearing/speech impaired:  
(800) 955-8771 (T)  
(800) 955-8770 (V)

MyFWC.com

Subject: Follow-up Review of the Recommendations from the Miami-Dade County  
Manatee Protection Plan (MPP) Review Committee (MPPRC)

Dear Mr. Espinosa:

On February 3<sup>rd</sup>, 2010, the Florida Fish and Wildlife Conservation Commission (FWC) sent preliminary review comments concerning the MPPRC's Final Written Recommendations to Miami Dade County Department of Environmental Resource Management (DERM). DERM staff asked FWC staff to further clarify comments on the proposed motions. Since our preliminary review of the 23 motions adopted by the MPPRC, we received additional information and have discussed our questions with DERM staff. We have also performed preliminary reviews of the data in order to assess the motions further.

We agree with general concepts behind some of the motions and believe that many issues can be worked out and specific revised MPP language could be drafted that would be acceptable to FWC. This letter represents our effort to provide more detailed input on the MPPRC motions. Approval of any plan revisions cannot be provided until the specific language of the revised plan can be reviewed in context.

### Motions 1, 21 and 22

As stated in our earlier correspondence, several of the motions are outside the purview of the MPP. Motions 1 and 21 recommend that the Board of County Commissioners urge the Florida legislature to 1) increase penalties for violations of manatee protection vessel speed zones and 2) require boat operator licenses and mandatory boater education for all age groups. Motion 22 recommends that the Board of County Commissioners establish a Manatee Protection Fund. We remain neutral on motions 1 and 21 as these are not issues included in MPPs. Motion 22 regarding funding should be discussed and included in the MPP regarding how protection efforts will be supported. There are already basic funding requirements associated with the implementation of the MPP. It is our opinion that the past level of funding should continue (or increase if needed, during this revision process). Also, a discussion of this funding should be included as a part of the revised MPP.

### Motions 2 through 7

These motions are all related to the removal of slips or berths in use at one location and transferred to another. We support the concept of slip transfers provided the process is done in such a way that it provides a benefit to the manatee and the overall value of the MPP. As discussed in our February 3<sup>rd</sup>, 2010 letter, we cannot support the



motions as written for inclusion into the MPP. We recommend addressing the issue county wide rather than just the Miami River, and further we believe more details need to be provided that will ensure the slip transfer will provide a net benefit for manatees. We believe the final details of a slip transfer process will need to be worked out carefully between the county, the FWC and the USFWS. In order to provide some additional guidance we offer the ideas listed below. We believe if these provisions were included the slip transfer process, it would be considered a net benefit for manatees. In order to benefit manatees, the slip transfer process should include the following provisions:

- All donor sites should retain riparian access of at least one motorboat slip for every one hundred feet of shoreline owned, or one per parcel if less than 100 feet of shoreline is owned.
- Donor sites should be located in areas designated as essential habitat, as defined in the MPP.
- Recipient sites should not be located in state manatee protection areas designated as "No Entry Areas" (or limited use areas), as designated in 68C-22.025 F.A.C. including portions of the Little River, Virginia Key, Coral Gables Waterway, and Black Creek Canal.
- Facilities at recipient and donor sites should be legally constructed and have all active and current local, state and federal permits as required.
- To qualify as a transferable slip, all donated slips should be documented showing consistent, historical past use by motorboat; documentation would include records showing the vessel use and historical aerial photographs. Documentation of the highest single day slip use by motorboats should not be older than a period of five years prior to application for transfer.
- All recipient sites must be closer to or equidistant to Biscayne Bay than donor sites. Transfers may only occur between sites in the same waterway, river or tributary. For sites located in large water bodies like Biscayne Bay, the recipient and donor sites should be in general proximity to each other. The goal is to set a distance between sites that would not create a significant difference in vessel traffic impacts.
- There should be an overall net reduction in slips from the donor site to the recipient site.
- Slips transferred between a donor site and a recipient site must represent similar, or less, impact on manatees. Restrictive covenants, in perpetuity, must be placed on both donor and recipient sites.
- Restrictive covenants on donor sites must prohibit additional structures or launching of vessels or designate donated slips as sailboat only, if the donor site



location precludes sailboats.

- Restrictive covenants on recipient sites will 1) prohibit additional structures or launching of vessels beyond the number achieved with the transfer; 2) prohibit the donation of slips to other properties; and 3) specify the type of use and prohibit any change of use of the slips from the type approved during transfer. Covenants must be requirements in permits and submerged land leases (if required) and recorded prior to commencement of construction.
- All transfers must be reviewed and approved by DERM, FWC and USFWS.

#### **Motion 8**

This motion recommends revised language concerning single family docks. FWC agrees with the concept that under MPPs, all single family residences should maintain riparian rights and have access to the water. The MPP should establish a threshold below which, single family docks with boat slips should not be restricted by the plan. To better reflect current practices, we recommend that the plan be revised to allow up to four boat slips at a facility, including single family docks. Single family docks that request more than four slips would be reviewed under the provisions of the plan similar to any facility with 5 or more slips.

#### **Motion 9**

This motion recommends revised language concerning transitory slips. We do not agree with the proposed replacement language because the proposed slip densities are too great and locations are not specific. Such an increase in repeat use facilities would result in significant adverse impacts to manatees. However, some limited expansion of transitory slips in some areas could be acceptable. Potential increases could be considered by revising the current definition in the MPP for Limited Special Use such as:

“..... 1 vessel slip per 500 feet of shoreline, ~~or one slip per parcel, whichever is more restrictive.~~”

In addition, while in the revision phase of the MPP, specific locations with specific development plans for potential increases in transitory slips can be reviewed and considered for inclusion into the MPP. Locations in sensitive manatee habitats may even be considered if such proposals are government-owned, government-operated, non-revenue generating, and there is a demonstrated need for this type of public access.

#### **Motion 10**

This motion recommends adopting proposed DERM language for revising the definition of “existing facility”, with a change that includes retaining the date that is in the original plan. As discussed in our February 3<sup>rd</sup>, 2010 letter, we do not support retaining the original date in the plan. A facility that was constructed and used 26 years ago, but has not been in use for the past 20 years should not be considered “existing”. The definition of an existing facility, for the purposes of a manatee protection plan, should be a facility that is legally operating and is currently producing



boat traffic, or has recently produced boat traffic that is still affecting manatees. Facilities that have all required local, state and federal permits, authorizations and approvals that are still valid, but are not yet built, can also be considered existing.

The MPP facility siting strategy should apply to facilities constructed without all proper authorizations, with the exception of facilities that pre-date permitting programs and have been in continuous use. These older facilities, and facilities that are legally constructed and permitted but do not have authorizations that clearly specify the number of slips, should be evaluated on a case by case basis. The case by case review will determine the existing number of slips by taking into account the use of the slips by vessels (including motorboat and sailboat). Documentation of vessel use history and documentation showing the facility's highest single day use must be provided by historical aerial photographs. If facilities are vacated as a result of unforeseen circumstances (such as hurricanes, fires, etc.), they could be considered existing for a period not to exceed the period five years prior to application for permit.

#### **Motion 11**

This motion has two parts. One part recommends retaining and supporting sites identified in the original MPP for the expansion of marine facilities. We agree with this concept. The other part recommends removing the residential designation at C-111. We agree with the concept that the designation as residential should be changed because it is not zoned residential, however, we have concerns with allowing potentially unlimited development in this canal. Manatee use of this habitat is significant enough to warrant specific long term planning protection. FWC suggests that a designation that specifies single family density (1:100) but allows different zoning besides residential may be appropriate.

#### **Motion 12**

This motion recommends the removal of the "Boatyard Only" designation in the Aventura canals, to be replaced by the residential 1:100 designation. The motion allows boatyards in other appropriately zoned parcels in Aventura, Sunny Isles Beach in Dumfoundling Bay and waters contiguous to the ICW. We support the change in the Aventura canals. However, the specific locations where boatyards might be allowed need to be identified for the other referenced waterways, or the residential 1:100 designation should remain. The numbers and sizes of potential boatyards need to be specifically assessed.

#### **Motions 13, 15, 16, 17**

These motions recommend removal of the residential (1:100) designations at FIU/Oleta State Park shorelines, Deering Bay/Chapman Field, Gould Canal at Black Point, and Homestead Bayfront Park/Convoy Point. What is recommended by the motions for these sites appears to be a new MPP designation category specific to boats of trailerable size. A clear definition of what "trailerable" means is needed, as well as an idea of how many additional slips would be allowable at each site. While we think the intent of this designation is to keep vessel sizes appropriately small due to the more shallow nature of these area waters, it does not address the numbers of vessels that would add cumulative impacts to the waterways. Appropriate design of ramps



could have the effect of limiting the size of boats that can be launched at specific ramps.

FWC has the following concerns:

- Manatees still consistently use the areas around Deering Bay/Chapman Field, Black Point/Gould Canal, and Homestead Bayfront Park/Convoy Point (Motions 15, 16 and 17). This use is still significant enough to warrant specific long term planning protection that includes some sort of maximum slip density limit, perhaps allowing different zoning besides residential. FWC is open to the concept of allowing higher densities for these facilities if it can be demonstrated that there is a need for public access.
- Manatee use in the vicinity of FIU/Oleta State Park (Motion 13) still indicates that the surrounding areas are sensitive manatee habitat. However, FWC would consider a case by case review of projects that address water access for the public, target vessels appropriate to the waterway, and that are consistent with manatee protection.

#### **Motion 14**

This motion adds additional locations for public transient or courtesy docks along specific shorelines. Amendments included clarifying that the provision does not limit the density of transitory docks more than what is stated in the MPP, or rescind Motion 9. FWC agrees with this motion, clarifying that transient or courtesy docks in areas identified as appropriate for commercial marinas and ramps are not restricted in number.

#### **Motion 18**

This motion recommends a reduction in the area identified as recommended for expansion for commercial marinas, dry storage, ramps and transient docks, changing the border to begin at Venetian Causeway going south. FWC agrees with the concept that the designation can be changed, however, this motion is unclear as to what the replacement designation would be for the area that is removed. How many and what type of facilities would the new designation allow? Additional discussion and data analysis is warranted for this area and a proposed designation for this change is needed for consideration.

#### **Motions 19 and 20**

Motion 19 recommends revision of the fender language to remove 'major' from the requirement for renovations. We concur with this revision, as proposed.

Motion 20 recommends that the MPP be updated with all the maps and technical information provided by DERM during the committee review process. We concur with this recommendation. Changes to an MPP must be supported and justified with accompanying data.

#### **Motion 23**

This motion adopts the recommended changes to performance measures and variance language proposed by DERM, with the amendment that Black Point Marina be added as a cold-weather aggregation area. If the intent of revised language is still essentially the same as what is in the approved MPP, which is to prohibit variances in cold-



weather aggregation areas, other areas where sensitive manatee behavior occurs, or in a travel corridor to or from the area, we agree with the concepts behind the revisions to the section.

### **Additional Issues**

A recent and important issue for most of the “Key” manatee counties has been assurance of adequate enforcement of manatee protection speed zones. This is especially important when considering an increase in the level of boat slip development in particular areas, which is proposed by some of these motions. There are different ways in which to improve on-water law enforcement, and we recommend that Miami-Dade County consider all alternatives and include a section in the MPP to discuss this issue. The August 2009 document entitled *On-Water Law Enforcement and Boating Safety Summary* developed by DERM staff, is a good basis for this portion of the revised MPP.

The recent 2009 boating study, as well as manatee aerial surveys, would be good information to share with law enforcement to help develop strategic plans for deployment of enforcement efforts. According to the 2009 study, areas where less enforcement was observed and compliance levels were the lowest are at Black Point and the Miami River. In areas where enforcement was more frequently observed, compliance was relatively high, such as Haulover Park. An enforcement strategy should be detailed in the MPP that includes a county-wide approach to ensure strong enforcement and compliance. Regular communication between staff that study manatees and law enforcement staff will aid this effort.

Another issue that Miami-Dade County may want to consider expanding upon in the revised plan is a section for the Port of Miami. There have been at least three manatee deaths from large vessels in the vicinity of the Port since the MPP was originally approved. The vicinity of Downtown Miami, the Port, and the Miami River has the highest concentration of manatee deaths in the county. An update on the master plan, the Port’s expansion efforts, and development of manatee education and awareness programs specific to personnel that handle large vessels is warranted.

FWC also recommends clarifying and revising the Protection Guidelines maps so that the maps fully represent all narrative that is provided in the plan. Additional definitions need to be added to the plan, particularly given the possible changes proposed in the motions and our comments. Updates to the educational and monitoring efforts should be included as well.

### **Conclusion**

As we reviewed the committee’s work and recommendations, we also reviewed the latest manatee related data and believe that the need for manatee protection in Miami – Dade County is still strong. The number of watercraft-related deaths in Miami-Dade County has doubled since the MPP was approved (16 deaths for 1982 – 1995 compared to 30 deaths for 1996 - 2009). The continuing watercraft-related deaths, as well as the continuing high manatee use need to be considered when revising the MPP, to assure that potential impacts to manatees are adequately addressed when changes are made to the plan.



Mr. Carlos Espinosa  
August 11, 2010  
Page 7

We look forward to assisting the county as the MPP revision process moves forward. Once draft language is incorporated into the MPP and can be reviewed in context, it will be easier to review the implications of the proposed revisions. It is important to note that the opinion of the U.S. Fish and Wildlife Service (USFWS) must also be considered, in addition to FWC's input on these motions and potential revisions to the MPP. Please do not hesitate to call Ms. Carol Knox of my staff at (850) 922-4330 or contact her at [Carol.Knox@myfwc.com](mailto:Carol.Knox@myfwc.com) if you have any questions.

Sincerely,



Kipp Frohlich, Section Leader  
Imperiled Species Management Section

RKF/cak/md

C:\MPPs\Miami-Dade\FWC.Review.MPP.committee.motions.8.10.10.Final.docx

cc: Mr. Kalani Cairns, USFWS  
Ms. Lisa Davis – FWC





## United States Department of the Interior



FISH AND WILDLIFE SERVICE  
South Florida Ecological Services Office  
1339 20<sup>th</sup> Street  
Vero Beach, Florida 32960

September 8, 2010

Kipp Frohlich  
Florida Fish and Wildlife Conservation Commission  
Imperiled Species Management Section  
620 South Meridian Street  
Tallahassee, Florida 32399-1600

Dear Mr. Frohlich:

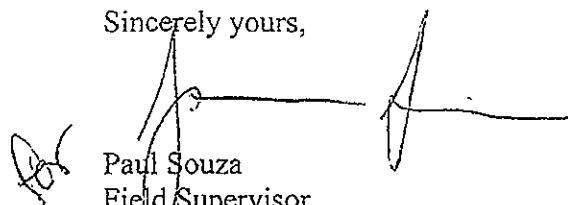
The Fish and Wildlife Service (Service) received a copy of your letter to Miami-Dade County, dated August 11, 2010, regarding proposed changes to the county's manatee protection plan. We understand that the proposed changes submitted by the county's Manatee Protection Plan Review Committee are in the form of suggestions or motions which the county is presently considering.

We agree with some of the proposed motions to revise the plan which we think may result in reducing the potential interaction between manatees and watercraft within the county. One example is the concept of slip transfers. Though the motion lacks specific details as to how the concept would be implemented in the plan, we view this suggested change as a potential benefit to manatees by reducing the number of slips in locations where manatees are frequently present. Conversely, we have concerns with other motions suggested as potential changes to the plan, such as increasing the transitory slip density in the Miami River, a known aggregation area for manatees. This is one example of the suggested changes that, if incorporated into the county's plan, appear to increase the risk to manatees from watercraft.

We recognize that these motions currently lack the specific language necessary to be included as appropriate revisions to the county's plan. We look forward to working with you and Miami-Dade County in refining changes to the plan that will improve or maintain protection of manatees while allowing the construction of new as well as the expansion or reconfiguration of existing watercraft facilities in appropriate areas within the county.

Please continue coordinating with Kalani Cairns at 772-562-3909, extension 240, who is our point of contact regarding manatee protection plans in south Florida.

Sincerely yours,



Paul Souza  
Field Supervisor  
South Florida Ecological Services Office

**TAKE PRIDE<sup>®</sup>**  
**IN AMERICA** 



Kipp Frohlich

Page 2

cc:

Miami-Dade DERM, Miami, Florida (Carlos Espinosa)

Service, Jacksonville, Florida (Dawn Jennings) electronic copy only




# Memorandum



**Date:** NOV 19 2009

**To:** Honorable Chairman Dennis C. Moss and Members  
Board of County Commissioners

**From:** George M. Burgess  
County Manager 

**Subject:** Transmittal of Final Written Recommendations of the Manatee Protection Plan Review Committee to the Board of County Commissioners

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Please find attached the final written recommendations of the Manatee Protection Plan Review Committee.

Section 370.12(2), Florida Statutes, requires counties to adopt a local Manatee Protection Plan (MPP), which must be approved by the Florida Fish and Wildlife Conservation Commission (FWC). Miami-Dade County's present MPP was adopted in 1995 and is approved by both the FWC and the U.S. Fish and Wildlife Service. Changes to the MPP must also be approved by these agencies.

The Manatee Protection Plan Review Committee was established by Ordinance No. 07-114 to provide advisory recommendations to the Board of County Commissioners as to the need for amendments, revisions and additions to the 1995 Miami-Dade County Manatee Protection Plan (MPP), consistent with manatee protection regulations of the State of Florida. The Ordinance further states that recommendations shall be in accordance with the guidelines and requirements of the FWC statewide Manatee Management Plan, and shall be based on updated information provided by the Department of Environmental Resources Management (DERM), data and analysis, including but not limited to the requirements of FWC and other relevant information.

The attached report from Committee Chair Manny Prieguez constitutes the recommendations made by the Committee. As any changes to the approved MPP must ultimately be approved by the FWC, the recommendations of the Committee, as well as the updated data and analysis reports have been forwarded to the FWC to elicit early comments for the Board's consideration. I will notify the Board upon receipt of comments from FWC, and will also provide county staff recommendations on this matter for consideration by the Budget, Planning and Sustainability Committee.

Please contact DERM Director Carlos Espinosa, PE, with any questions at (305) 372-6754 or email: [espinc@miamidadecounty.gov](mailto:espinc@miamidadecounty.gov).

**Attachments:**

Final Written Recommendations of the Manatee Protection Plan Review Committee  
Dade County Manatee Protection Plan

**c:** Honorable Mayor Carlos Alvarez  
Denis Morales, Chief of Staff, Office of the Mayor  
Alex Munoz, Assistant County Manager



# Memorandum

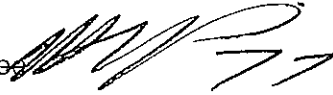
## Manatee Protection Plan Review Committee

**Date:** October 12, 2009

**To:** Honorable Chair Dennis Moss  
Board of County Commissioners  
Honorable Mayor Carlos Alvarez

**From:** Manny Prieguez, Chair  
Manatee Protection Plan Review Committee

**Subject:** Final Written Recommendations



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Ordinance No. 07-144, which established the Manatee Protection Plan Review Committee, requires that within thirty (30) days of the Committee's receipt of the final report by DERM, the Committee shall make its final written recommendations to the Board of County Commissioners as to the recommended amendments, revisions and additions to the Miami-Dade Manatee Protection Plan (MPP). This memorandum constitutes the Committee's final written recommendations.

### Background

The first organizational meeting of the Committee was held on December 17, 2007. Each member of the County Commission and the County Mayor appointed a person to the Committee. All seats are currently filled, and a list of the members is included as Attachment 1. The Committee has met a total of 23 times since it was first established, including a public hearing on April 8, 2008. All regular meetings were noticed and open to the public, and included opportunity for public comment. A quorum was achieved at each meeting. The original sunset date of the Committee was extended twice, from 18 months to 24 months from its date of establishment, so that the Committee would have an opportunity to review the results of an updated boating activity and compliance study in more detail. Approved minutes of the Committee meetings and materials presented to the Committee are posted on a web page hosted by the Department of Environmental Resources Management (DERM): [http://www.miamidade.gov/derm/manatee\\_agendas\\_and\\_information.asp](http://www.miamidade.gov/derm/manatee_agendas_and_information.asp)

At each meeting, DERM staff members provided verbal reports to the committee on data collection progress, and provided data on manatee distribution, mortality, and habitat; updated information on operating marine facilities and changes in facilities since 1995; permits issued for construction of new slips or rebuilding of previously existing slips; use of public ramps and dry storage facilities; and law enforcement, signage and education. Results of the updated study, "Recreational Boating Activity in Miami-Dade County", were presented by Mote Marine Laboratory principal investigator Jay Gorzelany, to the Committee at its June 3, 2009 meeting. DERM provided the Committee with a report entitled Miami-Dade Manatee Protection Plan Data Collection and Information Final Report, as required by Ordinance No. 07-144 on July 29, 2009. The report summarizes and synthesizes the types of information required by the Florida Fish and Wildlife Commission, including updated information on changes in marine facility uses.

### Summary of Motions describing recommended revisions or clarifications to the MPP

Over the course of its meetings, the Committee adopted 23 motions concerning specific recommendations related to manatee protection and revisions or clarifications to the MPP. Many of the motions include detailed recommended language. The motions that were adopted are summarized herein, and a complete, detailed transcript of the adopted motions and votes is included as Attachment 2 for reference.



- **Motion 1** Recommend that the Board of County Commissioners urge the Florida Legislature to amend Florida Statutes so as to increase penalties for violations of manatee protection vessel speed zones
- Several motions were approved related to inclusion of a procedure in the MPP to allow consideration of transfer of slips from one location to another location
  - **Motions 2 and 4:** Prohibit transfer of slips from non-essential manatee habitat into any essential manatee habitat
  - **Motion 3:** Request DERM to develop language such that slip transfer between water basins will not be permitted under the MPP
  - **Motion 5:** Add language to the MPP to allow slip transfers provided that the proposed transfer is demonstrated to have a net benefit to manatees
  - **Motion 6:** Amend the MPP to allow transfer of slips along the Miami River in accordance with specific criteria and requirements relating to such transfers
  - **Motion 7:** Amend the MPP to include the following language: *‘To be eligible for transfer, donor site wet or dry slips must have all required environmental and land use authorizations or permits in effect at the time of the application, excluding building permits. Only slips in compliance with all applicable regulations may be transferred. In lieu of obtaining actual permits from authorized governmental agencies, letters of intent from said agencies could be accepted for the transfer of slips.’*
- **Motion 8:** Revise language in the MPP relating to single family docks to clarify that the MPP does not recommend any additional restrictions above and beyond current law including specific clarifying language
- **Motion 9:** Amend the MPP to broaden the definition of transitory docks, increase the allowed density of such docks to 1 slip per 50 feet of shoreline at all locations in the downtown area from I-395 to SE 15<sup>th</sup> Road and on the Miami River to NW 5<sup>th</sup> St., and allow a density of 1 slip per 100 feet of shoreline at all publicly owned locations countywide; and to create specific requirements relating to the operation of water taxis
- **Motion 10:** Revise the MPP to clarify the definition of “existing facility”, while retaining the date of October 28,1984 as stated in the current MPP
- Numerous motions were adopted related to revisions or clarifications of Marine Facility Siting Criteria in the 1995 MPP
  - **Motion 11:** Retain and support sites identified in the 1995 MPP for the expansion of marine facilities and remove designation for residential marinas in the C-111 canal.
  - **Motion 12:** Revise siting guidelines to allow boatyards at any appropriately zoned site in portions of Sunny Isles Beach and Aventura, provided no impacts to seagrass occur, and to recommend residential marinas at a density consistent with other essential manatee habitat in specific Aventura canals

*The above bullets are a summary of the adopted motions. A complete transcript of the adopted motions is provided in Attachment 2.*



- **Motion 13:** Revise siting guidelines to allow expansion of marinas, ramps, or transitory docks for trailerable sized boats in waters adjacent to portions of the FIU and Oleta River State Recreation Area shoreline, provided no impacts to seagrass occur
- **Motion 14:** Revise siting guidelines to recommend transient or courtesy docks at additional locations, and clarify MPP language related to transient docks (this motion does not limit or amend the recommendations contained in motion 8 above).
- **Motion 15:** Revise siting guidelines to remove limits on expansion of residential marinas at Deering Bay and to recommend expansion of public access facilities for trailerable-sized boats at Chapman Field Park, provided that vessels use existing navigation channels and provided that impacts to habitats used by manatees are not required.
- **Motion 16:** Revise siting guidelines to remove designation for residential marinas at Black Point and recommend ground level dry storage in limited areas of the park, provided that additional vessel traffic use south channels and that boater non-compliance is addressed. No in-water construction is recommended in the no-entry zone.
- **Motion 17:** Revise siting guidelines to recommend Homestead Bayfront Park/Convoy Point as an area suitable for expansion of public access marine facilities, especially for trailerable-sized boats.
- **Motion 18:** Revise siting guidelines to recommend reducing the area recommended for expansion of facilities in the vicinity of south Miami Beach to the include the shoreline from Venetian Causeway to Government Cut.
- **Motion 19:** Revise language relating to an exemption from fendering requirements on a portion of the Miami River to require fendering upon replacement or renovation of bulkheads in the exempted area.
- **Motion 20:** Recommend that DERM update the maps and technical information in the MPP based on recently acquired data, as summarized in the Data Collection and Information Final Report dated July 2009, and also include a list of all technical data and maps provided to the Committee
- **Motion 21:** Recommend that the Board of County Commissioners urge the Florida Legislature to amend Florida Statutes to require boat operators licenses and mandatory boater education for all age groups.
- **Motion 22:** Recommend that the Board of County Commissioners establish a Manatee Protection Fund, funded by annual allocations of \$5 million, from *ad valorem* revenues
- **Motion 23:** Revise and clarify the section of the 1995 MPP that describes criteria for projects seeking a variance from marine facility siting guidelines

***The above bullets are a summary of the adopted motions. A complete transcript of the adopted motions is provided in Attachment 2.***



ATTACHMENT 1  
Manatee Protection Plan Review Committee  
Member List October 2009

Manny Prieguez, Chair  
(appointed by Comm. B. Barreiro, Dist. 5)

Brett Bibeau  
(appointed by Comm. D. Rolle, Dist. 2)

Richard Bunnell  
(appointed by Comm. N. Seijas, Dist. 13)

T. Spencer Crowley, III  
(appointed by Comm. C. Gimenez, Dist. 7)

Judy Futerfas  
(appointed by Comm. D. Moss, Dist. 9)

David Gardner  
(appointed by Comm. J. Souto, Dist. 10)

Lynda Greene  
(appointed by Comm. B. Jordan, Dist. 1)

Bob Karl  
(appointed by Comm. A. Edmonson, Dist. 3)

Alberto Lamadrid  
(appointed by Comm. J. Martinez, Dist. 11)

Mark Lewis  
(appointed by Mayor Carlos Alvarez)

Kate L. Mansfield, Ph.D.  
(appointed by Comm. R. Sosa, Dist. 6)

Robert Moser  
(appointed by Comm. J. Diaz, Dist. 12)

Richard (Dick) Townsend, Vice Chair  
(appointed by Comm. K. Sorenson, Dist. 8)

Julia Zaias, DVM, Ph.D.  
(appointed by Comm. S. Heyman, Dist. 4)



ATTACHMENT 2  
Summary of Approved Motions\* & Votes  
Made by the MPPRC Committee

Motion 1 made on October 1, 2008 by: Brett Bibeau

Seconded by: Richard Bunnell

*"That a letter be drafted and submitted to Commissioner Barriero's office for presentation to the BCC. Said letter would include the recommendation for an amendment to State statute 327.73 to increase the amount of the fines. In addition, for repeat offenses revised fines should be based on an escalating scale depending on the number of offenses and to have significant consequences result after numerous violations."*

The motion **passed** unanimously by all members present:

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	Yes
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Dick Townsend (Vice Chair)	Yes	Manny Prieguez, Chair	Yes
		Julia Zaias, Ph.D.	Yes

Motion 2 made on August 17, 2009 by: Dr. Julia Zaias

Seconded by: Lynda Green

*"That there is absolutely no transfer of any slips of any kind from non-essential manatee habitat into any essential manatee habitat; at the most recent update of what those maps would be I guess, into the 2009 version of that essential habitat, you know, assuming that it is similar, but it will look sort of like this."*

The motion **passed** with the votes as follows:

Brett Bibeau	Yes	Richard Bunnell	Absent
T. Spencer Crowley, III	No	Judith Futerfas	No
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Yes
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Yes	Julia Zaias, PhD	Yes

Motion 3 made on August 17, 2009 by: Mark Lewis

Seconded by: Alberto Lamadrid

\* Does not include motions related to approval of meeting minutes or to extension of meetings.



*"...that staff prepare text for final consideration at the next meeting that says, in appropriate terminology, that slip transfers from one water basin to another water basin will not be permitted as part of this Manatee Protection Plan...within Essential Manatee Habitat"*

*Mark Lewis clarified in response to a question about the definition of "water basin" by Julia Zaias. "In my mind, water basin is everything from where it enters the bay until it dries up, upstream."*

The motion passed with the votes as follows:

Brett Bibeau	Yes	Richard Bunnell	Absent
T. Spencer Crowley, III	No	Judith Futerfas	No
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Yes
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Yes	Julia Zaias, PhD	No

Motion 4 made on August 24, 2009 by: Lynda Green

Seconded by: Robert Moser

*"I make a motion that we accept the language that DERM came up with for transfer of slips."*

Final Amended Motion:

*"I make a motion that we accept DERM staff's interpretation of language of transfer of slips...the first..."*  
(See language below)

**DERM staff's interpretation of the committee's intent:**

There shall be absolutely no transfer of slips of any kind from non-essential manatee habitat into any Essential Manatee Habitat. Essential Manatee Habitat is herein defined as that habitat which has been determined to be essential to manatees as described in the Miami-Dade Manatee Protection Plan approved by local, state and federal agencies.

The motion was approved by a vote of 9 to 3 as follows:

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	No	Judith Futerfas	No
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	No
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Yes	Julia Zaias, PhD	Absent



**Motion 5 made on August 24, 2009 by:** Robert Moser

**Seconded by:** Dick Bunnell

*"Slip transfers should be considered as part of the Manatee Protection Plan provided they can demonstrate that the transfer will have a net benefit to the manatees."*

The motion was approved by a vote of 7 to 5 with the votes as follows:

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	No
David Gardner	Yes	Lynda Green	No
Bob Karl	Absent	Alberto Lamadrid	Yes
Mark Lewis	No	Kate Mansfield, PhD	No
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	No	Julia Zaias, PhD	Absent

**Motion 6 made on August 24, 2009 by:** Brett Bibeau

**Seconded by:** Alberto Lamadrid

Mr. Bibeau made a motion to amend the MPP to include the below language:



"g.(2) Removal of Slips or Berths in Use at a Location and Transfer to Another

Removal of dry or wet slips or berths in use at one or more locations along the Miami River may serve as a form of mitigation to compensate for the potential impacts to manatees from proposed new operations or expansion of marine facilities in the Miami River above the guidelines recommended for manatee protection. The transfer process requires a review and evaluation by DERJM, in coordination with state and federal regulatory authorities, of the proposed transfer for potential adverse impacts to manatees as well as evaluation of other requirements of Chapter 24 of the Code of Miami-Dade County. To assure that the impacts from proposed new slips would not exceed the potential impacts from the slips that are to be removed for mitigation, this analysis must be site specific and be based on a consistent set of mitigation rules applied to all such projects. Furthermore, to assure that the impact of new powerboat slips remains fully mitigated, a suitable restriction running with the land (i.e. restrictive covenant) on the donor property is required to record that the historical use was transferred, and assure that the original slips would never be reoccupied by powerboats. This is similar to other forms of environmental mitigation, or conservation easements, intended to preserve the mitigation benefits in perpetuity. Transfer applications shall not be approved without concurrence of federal and state regulatory agencies with authority for manatee protection. This has implications for the owners or future owners of donor properties. These owners have an expectation that continuing use or reconstruction of historical motor boat slips will be found consistent with manatee protection guidelines. This would no longer be the case if the historical use had been transferred to another parcel. For these reasons, both from an assessment of the biological merits of the mitigation for a proposed project, and in fairness to owners whose slips are sought for transfer, slips cannot simply be "reallocated" to another property without participation and consent of the "donor".

The following mitigation criteria will be used to evaluate requests for slip transfer.

1. Slip transfers only have the ability to offset potential impacts if they represent an actual reduction in use of equivalent slips at the donor site, and the slips from the donor site may not be reoccupied.
2. To assure no net increase in impact to manatees, slips may only be transferred from one site to another along the 5.5 mile Miami River.
3. Only slips in compliance with all required environmental and land use approvals are eligible for transfer. For slips located in or over the water, documentation of approval of the submerged lands owner is required. Illegal or unauthorized docking is ineligible for transfer.
4. Transfers require the consent of the property owner(s) involved (donor and receiving properties) and restrictive covenants running with the land in favor of Miami-Dade County must be recorded on the donor and recipient sites.



5. In order to preserve riparian property rights and to prevent net reduction of waterfront access sites, not all existing slips can be transferred away from a given donor site. At least one existing power boat slip per 100 feet of shoreline shall be retained at the donor site and shall not be eligible for transfer.

6. Slips located in areas recommended for expansion of commercial marinas, dry storage, transitory docks, boatyards, ramps, or large vessel (>100') berthing under the MPP do not qualify as donor slips.

7. Slip transfers may be allowed only if all federal, state, and local approvals at the receiving site are obtained for the proposed work and operations required for transfer."

The motion was approved by a vote of 7 to 5 as follows:

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	No
David Gardner	Yes	Lynda Green	No
Bob Karl	Absent	Alberto Lamadrid	Yes
Mark Lewis	No	Kate Mansfield, PhD	No
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	No	Julia Zaias, PhD	Absent

**Motion 7 made on September 9, 2009 by:** Manny Prieguez

**Seconded by:** David Gardner

"I move that the MPP be amended to read: *'To be eligible for transfer, donor site wet or dry slips must have all required environmental and land use authorizations or permits in effect at the time of the application, excluding building permits. Only slips in compliance with all applicable regulations may be transferred. In lieu of obtaining actual permits from authorized governmental agencies, letters of intent from said agencies could be accepted for the transfer of slips.'*"

The motion passed with a vote of 8 to 4 as follows:

Brett Bibeau	Yes	Richard Bunnell	No
T. Spencer Crowley, III	Yes	Judith Futerfas	No
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	No	Julia Zaias, PhD	No

**Motion 8 made on September 30, 2009 by:** T. Spencer Crowley, III

**Seconded by:** Lynda Green



"Motion to approve the language that DERM drafted and submitted at our last meeting regarding single family docks and also to revise the remainder of the plan so that the plan is consistent with that language." [language follows below]

Within Essential Habitat Areas:

Single Family Residential Docks

Each single family residence shall be limited to two power boat slips, and vessels using those slips shall be registered to the upland property owners or residents. Single family dock construction is subject to local, state, and federal regulations and policies. Zoning, land use, building, and environmental standards, statutes, ordinances, or rules may determine or limit the size and configuration of a dock or number of slips that may be permitted at a particular location. It is not the intent of this Manatee Protection Plan to impose any additional restrictions on single family docks. Single family docks shall continue to be constructed according to existing DERM coastal construction all existing applicable regulations and guidelines.

The motion passed unanimously by all the members present.

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	Yes
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Yes	Julia Zaias, PhD	Absent

Motion 9 made on September 30, 2009 by: T. Spencer Crowley, III

Seconded by: Richard Bunnell

Mr. Crowley made a motion to amend the MPP to include the below language:

Broaden definition of transitory docks as follows:

Transitory Slip – docks, slips, and other shoreline structures used for the temporary mooring of vessels (less than one day, but may include overnight or multiple-day use if camping), including docks at nonfee public facilities (e.g., city boat ramps, public parks, etc.), facilities used for water-dependent public transportation (e.g., water taxis), designated day-use slips at restaurants and hotels, and staging docks, piers, seawalls and/or slips required for the operation of dry storage facilities or boat ramps. Transitory slips cannot be used for the permanent storage of vessels. Slips used for boat rentals or slips rented to patrons are not considered transitory.

Eliminate the "limited special use" designation downtown. Allow "Transitory Slips" from I-395 south to SE 15<sup>th</sup> Road and west up Miami River to 5<sup>th</sup> Street, including Watson Island, at a density of 1:50.

Transitory Slips shall be allowed at all publicly owned waterfront parcels countywide at a density of 1:100. The density of Transitory Slips at all privately owned waterfront parcels shall not be limited by the MPP, but instead shall be limited only by other relevant permitting considerations.



**Amendment to motion by Manny Prieguez (accepted by Mr. Crowley):**

*"If and when a county or municipal water taxi project is contemplated by Miami Dade county or any of its municipalities, specific guidelines for operation of the water taxis shall be created in conjunction with FWC's specific input. These guidelines shall be created for, but not limited to, the increased protection of manatees and specific measures which would mitigate potential conflict between manatees and the water taxi service. Examples of these guidelines could be, for example, prop guards, strict adherence to speeds and other measures, which if not complied with could result in the revocation of the water taxi's operating license. The manatee protection plan would only contemplate a recommendation of a water taxi service if the aforementioned is complied with by the regulating government or agency."*

The amended motion passed with a vote of 6 to 5:

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	No
David Gardner	Yes	Lynda Green	No
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	No	Kate Mansfield, PhD	No
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	No	Julia Zaias, PhD	Absent

**Motion 10 made on September 30, 2009 by:** T. Spencer Crowley, III

**Seconded by:** Richard Bunnell

*"I make a motion to change the language of the existing facility definition and retain the same dates that are in the plan right now." The Chair then clarified for the committee that the motion was to adopt DERM's recommended changes in the first two paragraphs (included as an insert below) but inserting the existing date into the last paragraph (included below after the insert):*



*4. Marine Facility Siting Criteria*

The Marine Facility Siting Criteria in the Manatee Protection Plan generally apply to review and permitting of applications for new or expanded marine facilities for use by multiple boats, including boat ramps, wet and dry berthing, and transient or courtesy docks of all types. The siting criteria do not apply to docks associated with detached single-family residences. The siting criteria are guidelines that are intended to apply prospectively, to assure that the additional vessel docking and storage to meet future needs are accommodated so as to minimize and avoid impacts to manatees or their habitat associated with construction or vessel traffic generated by use of the facility. These criteria do not replace or supplant other permitting requirements, such as those related to water quality, aquatic or wetland vegetation, navigation or other environmental factors.

*Criteria Relating to Continuing Use of Existing Facilities*

It is not the intention of the Plan to impose new limitations on the number of wet or dry berths or types of vessels at facilities that are lawfully in use at the time of Plan approval, even if the facility occurs within sensitive manatee habitat. It is assumed that the reconstruction, repair, or reconfiguration of a facility that has been lawfully in use does not constitute a new or increased impact on manatees, provided that the number and types of vessels using the facility and frequency of vessel activities remains substantially the same. Therefore, with respect to manatee protection guidelines, **AN EXISTING MARINE FACILITY SHOULD BE PERMITTED TO CONTINUE OPERATION OR UNDERGO REPAIRS AND RENOVATION SO LONG AS THE NUMBER AND TYPES OF VESSELS USING THE FACILITY ARE EQUIVALENT WITH PAST VESSEL USE.** It is also recognized that there may be circumstances, such as natural disasters, fire, or financial matters that temporarily render a facility inoperable, even though it has been in use in the recent past.

**The last paragraph of the aforementioned proposed DERM language with Mr. Crowley's amendment to retain the existing 1984 date would read as follows:**

"For the purposes of application of Marine Facility Siting Criteria for manatee protection to permitting of such facilities, an 'existing marine facility' is one that has been in use and possessed all required environmental approvals at any time since October 28, 1984. Facilities that have not been in use at any time since October 28, 1984 or where vessel types or uses are not substantially the same as those that occurred previously, will not be considered existing and will be subject to manatee protection criteria for new or expanded facilities. A marine facility that meets this definition may be reconstructed with at least the maximum number of dry and wet berths that were lawfully in use since October 28, 1984. Berthing configuration or facility design may be modified, provided that the types of vessel uses and number of vessels remain consistent with past vessel uses."

The motion passed with a vote of 7 to 3 as follows:

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	No
David Gardner	Yes	Lynda Green	No
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	No



Approved motions (cont'd)

Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	No	Julia Zaias, PhD	Absent

Motion 11 made on October 2, 2009 by: Lynda Green

Seconded by: Bob Karl

Motion to adopt the language in items number 1 and number 8 [of DERM's *Recommendations to Update the MPP Marine Facility Criteria*]: (See language below)

*"Retain and support areas currently recommended for expansion of commercial marinas, ramps, dry storage and transient docks, including Haulover, Dinner Key, Crandon Marina, south Miami Beach to Government Cut, and Matheson Hammock. Recommend that boat ramps and dry storage that currently exist at these locations be retained or increased."*

*"Remove multi-slip residential designation for the tidal portions of the C-111 canal."*

The motion **passed** unanimously as follows:

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	Yes
David Gardner	Yes	Lynda Green	Absent
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Yes	Julia Zaias, PhD	Absent

Motion 12 made on October 2, 2009 by: Mark Lewis

Seconded by: Kate Mansfield

Mr. Lewis moved to approve paragraph number 2 of DERM's *Recommendations to Update the MPP Marine Facility Siting Criteria* as written with the addition of the words 'residential use' in the first sentence after the phrase "...at the same density as..."

(See corrected language below)

*"Remove "boatyard only" as recommended use in Aventura canals, and revise to recommend residential use at same density as residential use in other essential manatee habitats. Allow boatyards in other appropriately zoned parcels in Aventura, Sunny Isles Beach in Dumfoundling Bay and waters contiguous to the Florida ICW, provided that no dredging or filling of seagrass habitat would be required to construct or operate such a facility."*

The motion **passed** with a vote of 8 to 2 as follows:

Brett Bibeau	No	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	Yes



Approved motions (cont'd)

David Gardner	No	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent

**Motion 13 made on October 2, 2009 by:** Kate Mansfield, PhD

**Seconded by:** Lynda Green

"I move to adopt number 3 [of DERM recommendations]." (See language below)

*"Add FIU/Oleta State Park shorelines (not including the Oleta River) as recommended locations for public marinas, boat ramps, or transient/courtesy docks for shallow draft, trailerable-sized boats, provided that no dredging or filling of seagrass would be required to construct or operate such facilities. Remove designation as recommended for multi-slip residential docking."*

The motion passed with a vote of 8 to 1 as follows:

Brett Bibeau	No	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	Yes
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Absent	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent

**Motion 14 made on October 2, 2009 by:** T. Spencer Crowley, III

**Seconded by:** Richard Bunnell

"I move that we adopt number 4 [of DERM's recommendations] with that added language that I am going to read into the record...I'm going to read the entire thing as it would....Add the north shoreline of Fisher Island, south shoreline of Virginia Key and Marine Stadium basin along Rickenbacker Causeway, Sands Key, and Elliot Key as recommended locations for public transient or courtesy docks. Clarify existing text and maps to emphasize that all locations recommended for commercial marinas are also appropriate locations for such docks, *provided this provision does not limit the density of transitory docks set forth elsewhere in this Manatee Protection Plan.*"

**Amendment to motion:**

"Include the language that is listed in number 4 [of DERM's Recommendations to Update the MPP Marine Facility Siting Criteria] along with the clause that I added and with the caveat that this language does not amend or rescind the motion that was voted for approval at our last meeting."

(See corrected language below)

*"Add the north shoreline of Fisher Island, south shoreline of Virginia Key and Marine Stadium basin along Rickenbacker Causeway, Sands Key, and Elliott Key as recommended locations for public transient or courtesy docks. Clarify existing text and maps to emphasize that all locations recommended for commercial marinas and ramps are also appropriate locations for*



*such docks, provided this provision does not limit the density of transitory docks set forth elsewhere in this Manatee Protection Plan. This language does not amend or rescind the motion that was voted for approval at our last meeting."*

The amended motion passed with a vote of 9 to 1 as follows:

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	Yes
David Gardner	Yes	Lynda Green	No
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent

**Motion 15 made on October 2, 2009 by:** T. Spencer Crowley, III

**Seconded by:** David Gardner

"I move for approval of number 5 [of DERM's recommendations]." (See language below)

*"Remove pre-determined limit on multi-slip residential dock density at Deering Bay/Chapman Field areas. Add area as recommended location for public-access ramp or upland dry storage for trailerable-sized boats, provided that vessels use existing basins and marked navigation channels in Deering Bay vicinity, and no dredging or filling of habitat currently being used by manatees (including seagrass habitat) would be required to construct or operate such a facility."*

The motion passed with a vote of 7 to 3:

Brett Bibeau	No	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	No
David Gardner	Yes	Lynda Green	No
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent

**Motion 16 made on October 2, 2009 by:** T. Spencer Crowley, III

**Seconded by:** Kate Mansfield, PhD

"I'll move [to adopt number] 6 [of DERM's recommendations]." (See language below)

*"Remove designation for multi-slip residential docking at Black Point Marina area. Recommend upland ground-level public storage for trailered boats be allowed on south side of Park at the site of the former "Pirates Spa", provided that access to the main channel is through Goulds Canal and existing boater non-compliance with posted channel markings is adequately addressed. No in-water construction is recommended in the no-entry zone."*

The motion passed with a vote of 9 to 1 as follows:



Approved motions (cont'd)

Brett Bibeau	No	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	Yes
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent

Motion 17 made on October 2, 2009 by: T. Spencer Crowley, III

Seconded by: David Gardner

"I'll move [to adopt number] 7 [of DERM's recommendations]."

(See corrected language below)

*"Add Homestead Bayfront Park/Convoy Point area as a recommended area for public marina, ramp, or transient/courtesy docks, especially for shallow draft trailerable-sized boats."*

The motion passed with a vote of 8 to 2 as follows:

Brett Bibeau	No	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	No
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent

Motion 18 made on October 2, 2009 by: Kate Mansfield, PhD

Seconded by: Mark Lewis

"I move that we adopt number 9 [of DERM's recommendations]." (See language below)

*"Reduce area on south Miami Beach shoreline recommended for expansion of commercial marinas, dry storage, ramps, transient docks to the shoreline south of Venetian Causeway to Government Cut (current recommended area extends north of Venetian Causeway approximately ¼ mile)."*

The motion passed with a vote of 7 to 3 as follows:

Brett Bibeau	Yes	Richard Bunnell	No
T. Spencer Crowley, III	No	Judith Futerfas	Yes
David Gardner	No	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent



**Motion 19 made on October 2, 2009 by:** Brett Bibeau

**Seconded by:** Richard Bunnell

"I recommend that the Manatee Protection Plan Review Committee recommend the deletion of the word "major" on page 96 in front of the word "renovation", doing so would require any...currently the plan requires fenders county-wide. The only area that has a minor exception is the area in question, the 1600 foot area, that requires fenders upon, currently it says 'replacement or *major* renovation' so by deleting the word major we would now be requiring it County-wide and in the area in question upon replacement or any renovation not a major renovation...so I move for those purposes to delete the word 'major' in that sentence on page 96."

(See corrected language below)

*"Replacement or ~~major~~-renovation of any large vessel berthing in a manatee habitat, including this portion of the Miami River will require standoff."*

The motion passed with a vote of 6 to 4:

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	No
David Gardner	Yes	Lynda Green	No
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	No	Kate Mansfield, PhD	No
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent

**Motion 20 made on October 2, 2009 by:** Mark Lewis

**Seconded by:** Kate Mansfield, PhD

"The committee recommends DERM staff update the maps and technical information in the plan based on recently acquired data, as indicated on the document of July 2009 [*Miami-Dade Manatee Protection Plan Data Collection and Information Final Report*] and will also include a list of all technical data and maps provided to this committee."

The motion passed with a vote of 9 to 1 as follows:

Brett Bibeau	No	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	Yes
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent

**Motion 21 made on October 2, 2009 by:** Lynda Green

**Seconded by:** Brett Bibeau



The final amended motion voted on was for the MPPRC to request that the County Commissioners include in the state legislative package a recommendation for boating licenses and a gradual implementation of mandatory boater education for all age groups.

The amended motion passed with a unanimous vote as follows:

Breit Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	Yes
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent

Motion 22 made on October 2, 2009 by: T. Spencer Crowley, III

Seconded by: Mark Lewis

"I would move that we recommend Section I of my handout, entitled Manatee Protection Fund, as I have amended here..." (See language below)

**"I. MANATEE PROTECTION FUND**

*Impacts to manatees associated with new slips will be offset by a program to improve public education and the enforcement of speed zones. Funding for this program is proposed through the combination of a Manatee Protection Fund (MPF) and municipal, County, and State cost-sharing. \$5,000,000 per year, derived from the County's ad valorem taxes, will be dedicated to funding the MPF. When available, grants from State and Federal sources will be used to augment this funding.*

*The recommended annual distribution of funds from the MPF is as follows: 10% for public education, 40% for increased law enforcement and 50% for environmental restoration or mooring modification projects benefiting manatees.*

*Specifically, these funds will be allocated at the discretion of the County Manager for the following activities:*

- *Development, production, and/or installation of manatee and seagrass conservation signs including access channel markers and seagrass protection markers.*
- *Development and implementation of public awareness programs to increase boater awareness of manatee protection issues.*
- *Development, production, and distribution of manatee speed zone fliers, pamphlets, and posters.*
- *Procurement and/or installation of manatee speed zone signage on County waterways, in partnership with FWC, which assumed responsibility for installation and maintenance of manatee speed zone signage as of July 1, 2006.*
- *Other measures deemed likely to reduce risks to manatees from boating activities in Miami-Dade County.*



- *Updates to the manatee distribution, boat use and activity, and boater compliance studies.*
- *Mooring modifications such as cantilevered seawalls or fenders which would decrease the likelihood of vessels crushing manatees against a bulkhead.*
- *Law enforcement personnel and equipment dedicated to speed zone compliance.*
- *Environmental restoration projects that create, preserve, or enhance manatee habitat. DERM will consult with the County Parks and Recreation Department, FWC, FIND, and other appropriate agencies to determine the most effective use of these funds, develop a budget, and explore cost-sharing opportunities. DERM will also periodically review its budget for manatee protection programs and request sufficient funding and staffing, as necessary, to ensure implementation of critical projects."*

The motion passed with a unanimous vote as follows:

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	Yes
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent

**Motion 23 made on October 2, 2009 by:** Richard Bunnell

**Seconded by:** Kate Mansfield, PhD

A motion was made to adopt the recommended changes from DERM to the variance performance measures of the MPP. An amendment to this motion was made by Judith Futerfas and accepted by the motion maker, to add "Black Point Marina" as a cold-water aggregation area in paragraph number 1 of the Performance Measures.

**(See language below with amendment)**

***"g. Performance Measures and Standard Procedures for Projects Seeking a Variance from Marine Facility Siting Guidelines***

There may be circumstances when a new or expanded marina, dry storage facility, boat ramp, or other docking or mooring facility is proposed that is not consistent with Marine Facility Siting Criteria described in the preceding sections. Examples could include a proposal for more wet or dry powerboat slips than recommended at a location, or a proposal for a type of facility or operation that is not recommended at a particular location. Furthermore, types of facilities or vessel operations that were not specifically contemplated by this plan may be developed in the future. Also, technology or procedures may be developed in the future to mitigate or offset the potential impacts to manatees or their habitat that otherwise may have been caused by increased numbers of vessel trips associated with new or expanded facilities. It is recognized that in such situations, if it can be demonstrated that the non-conforming project and its operation does not adversely affect sensitive habitats and manatees, a process for consideration of a variance or exception should be available. This section of the MPP therefore provides performance measures and standard procedures for evaluation of



requests for variances for non-conforming projects, with assurance that manatee protection requirements will still be met. These procedural requirements, performance measures and evaluation factors are described below

In order to qualify for a variance or exception, the proposed project must be able to demonstrate that it meets a set of requirements and measures intended to avoid or minimize potential impacts to manatees and especially sensitive habitats that could arise from the facility or the vessel trips that it may generate. The measures address only regulatory requirements related to manatee protection, and do not replace or obviate need for compliance with all other applicable local, state, and federal environmental and land use regulations. The proposed project must demonstrate that all other specific permitting and land use requirements can be met, before requesting a variance. The specific requirements include documentation that the proposal is consistent with local land use and zoning requirements as well as documentation that approval of the submerged land owner has been obtained. For cases involving encroachment into federal navigation channels, approval by federal authorities, such as the US Coast Guard or US Army Corps of Engineers is required.

*g.(1) Variance Performance Measures*

Requests for higher ratios for multi-family residential docking facilities subject to the 1- powerboat-slip-to-100-feet-of-shoreline restriction, or requests for uses proposed in a location not shown in the preceding narrative sections and maps as an acceptable site for that particular type of facility may be considered if it is demonstrated that the facility and its use would not adversely impact manatees. This demonstration would be satisfied if the facility met applicable Performance Measures from the following list. However, adherence to these measures does not automatically ensure the applicant's ability to exceed the allowable powerboat restrictions as defined above. The plan restrictions will remain in effect, if at the time of review, additional information about manatees or the proposed facility indicates threats not addressed by these Performance Measures. Consideration can be given for additional site-specific factors or operating practices (e.g. seasonal operation, etc.) that may be proposed by either the applicant or the County, that may result in improved conditions for manatees or manatee protection. Any facility exceeding the allowable powerboat slip restrictions or use according to the Performance Measures defined below, must obtain and comply with an annual marina operating permit (MOP) and/or Class I Coastal Construction permit if required, and proffer a covenant in favor of the County which records the number and type of slips or berths. The applicable Performance Measures would be included as conditions of the MOP, Class I permit and covenant. The Performance Measures are:

1. The facility may not be located within a cold-weather aggregation area or other area where sensitive manatee behavior occurs, or in a sole travel corridor to or from the area. The cold-weather aggregation, sensitive sites, and travel corridors include Biscayne Canal, Little River, the Miami River/Tamiami Canal, Coral Gables Waterway, Black Point Marina, Virginia Key "no entry zone", and the vicinity of cooling canals at the FPL Turkey Point power plant. These areas are shown in Figure XXX.
2. The waters adjacent and marked or unmarked channels leading to the facility are designated "slow speed" or "idle speed" zones defined by state rule Ch. 68C-22.025 F.A.C., as authorized pursuant to the Florida Manatee Sanctuary Act, Ch. 379.231(2) F.S.
3. The facility must provide net benefit to manatees and/or their habitat above what would otherwise be required for the project. Mitigation needed to satisfy other local, state or federal government permitting cannot be applied to this requirement. For example, facilities may include creation or enhancement of a manatee "refuge" space as part of the design, a conservation easement, additional restoration of adjacent habitats or hydrology such as mangrove or seagrass to increase the net ecological value of the nearby area, reduced



nutrient input to receiving waters, or requiring prop guards on any high traffic vessels such as water taxis or rental boats.

4. The marine facility and channel construction and subsequent uses will neither destroy nor negatively impact coastal wetlands and benthic (seagrass, hard bottom, etc.) communities and the water quality.
5. The facility must have sufficient water depth (as defined herein) in the marina basin and in any marked or unmarked channel or waterway typically used for access to or egress from the basin, and does not require any new dredging or filling that would degrade shallow water habitat (this may exclude maintenance dredging, excavation into uplands or pile installation). Sufficient water depth shall mean water depth, measured at mean low tide, of 3 feet greater than the draft of vessels occupying the slips on a permanent basis, and/or 3 feet greater than the draft of vessels typically using the facility on a transient basis. Vessel drafts shall be obtained by using best available data. Entrance/exit channels near marinas shall be adequately marked, in accordance with state regulations, if marina repairs or expansion are proposed.
6. The site shall contain appropriate informational signage, and provide educational material to tenants advising boaters of essential manatee habitats and vessel speed regulations in the vicinity.
7. Multi-family residential docking facilities will require that all vessels moored at the site be registered to individuals residing at the site. Requests for more slips/berths than residential units at the site or at densities greater than 5 slips per 100 feet of shoreline shall not be approved.
8. Before expanding and exceeding the allowable powerboat slips defined above, an existing facility must demonstrate not less than 85% occupancy over the previous 2 years of operation."

The amended motion **passed** unanimously with the votes as follows:

Brett Bibeau	Yes	Richard Bunnell	Yes
T. Spencer Crowley, III	Yes	Judith Futerfas	Yes
David Gardner	Yes	Lynda Green	Yes
Bob Karl	Absent	Alberto Lamadrid	Absent
Mark Lewis	Yes	Kate Mansfield, PhD	Yes
Robert Moser	Yes	Manny Prieguez, Chair	Yes
Richard Townsend, Vice Chair	Absent	Julia Zaias, PhD	Absent





Florida Fish  
and Wildlife  
Conservation  
Commission

February 3, 2010

Mr. Carlos Espinosa, P.E., Director  
Miami-Dade Department of Environmental  
Resources Management  
701 NW 1<sup>st</sup> Ct.  
Miami, Florida 33136

Subject: Preliminary Review of the Recommendations from the Miami-Dade County  
Manatee Protection Plan Review Committee (MPPRC)

Dear Mr. Espinosa:

The Florida Fish and Wildlife Conservation Commission (FWC) has received the Manatee Protection Plan Review Committee's Final Written Recommendations (dated October 12, 2009) in early November 2009. The Committee adopted 23 motions related to manatee protection and revisions to the Miami-Dade County Manatee Protection Plan (MPP). It is obvious from the information provided on your website that Miami-Dade County's DERM have compiled and reviewed a substantial amount of data and information, which was presented to the committee in this effort. The data analysis and information gathered and reported by DERM represents the type of information that should be the basis for a revision to the MPP, and this work is to be commended. However, it is not always clear from the Committee's adopted motions how objective data was considered. At this time, we would like to provide general comments on the Review Committee's recommendations and provide suggestions for the next steps in the process towards revising your MPP.

Our cursory review of the Committee motions is attached to this correspondence in a separate document. In it we discuss each motion individually, and consider the combined effects of the motions and how they might alter manatee protection provided by the MPP. In our comments we have tried to provide guidance regarding the proposed motions and whether they comply with guidelines and requirements of FWC for approvals of MPPs.

We understand that the Board of County Commissioners will determine when and whether or not to formally propose MPP revisions, however we recommend that the most expeditious path to revising an MPP is to ensure early discussions of the proposed changes and the data that supports the changes, among county, state, and federal staff. Since the county developed its first plan in 1995, the U.S. Fish & Wildlife Service (USFWS) has become an equal partner in MPP development and approvals. Early coordination among the agencies should ensure that the plan can be approved by all the agencies, which is important if the plan is to be implemented in the permitting process on all levels. It has been our experience that this initial coordination among the agencies facilitates the process for revising county MPPs and produces an MPP with the appropriate level of manatee protection. We would be happy to review with your staff in greater detail the process that has worked best in other counties. If the revised MPP is not approved by all three agencies it is possible that the wildlife agencies would need to revert to a case by case review of state and federal permits. This can result in more restrictive recommendations on all proposed developments, rather than what your current

Commissioners

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Chair  
Miami

Kathy Barco  
Vice-Chair  
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Ronald M. Bergeron  
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Delray Beach

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MPP provides, which allows larger facilities in some areas but is more restrictive in sensitive manatee habitats.

While we are providing some early feedback concerning the Committee's recommendations at your request, our approval of revisions cannot occur until we have done an independent and thorough review and analysis of all new data and information available since the original approval of the MPP. As mentioned previously we will also need to confer with the USFWS during this assessment and review the edits to the MPP to ensure their concurrence can be provided.

As currently proposed it will be difficult for us to concur with several recommendations written by the Committee. Our concerns are outlined in the attachment, and resolution of these issues will be needed before moving forward with final revisions to assure approval. The FWC manatee program has had a long and successful history with Miami-Dade County as partners in our efforts to secure the long term conservation of manatees. We appreciate the County's work and time towards manatee conservation and look forward to continuing to work with you and your staff to revise your MPP. Please do not hesitate to call me at (850) 922-4330 or contact me at [Carol.Knox@myfwc.com](mailto:Carol.Knox@myfwc.com) if you have any questions.

Sincerely,



Carol A. Knox, Biological Administrator III  
Imperiled Species Management Section

CAK/md

Attachment: FWC review of the MPPRC recommendations

C:\MPPs\Miami-Dade\FWC.response.committee.recommendations.12.09.docx

cc: Kalani Cairns, USFWS  
Lisa Davis – FWC



**Attachment: Florida Fish and Wildlife Conservation Commission (FWC) review of the Miami-Dade County Manatee Protection Plan Review Committee (MPPRC) Recommendations**

**Motions 1 and 21**

Motion 1: Recommend that the BCC urge the Florida Legislature to amend Florida Statutes so as to increase penalties for violations of manatee protection vessel speed zones.

Motion 21: Recommend that the BCC urge the Florida Legislature to amend Florida Statutes to require boat operator licenses and mandatory boater education for all age groups.

FWC response: These are interesting recommendations and the licensing and education has been pursued in the past by FWC with some success, however, those recommendations can only be carried out by the Legislature and are not appropriate as revisions to the MPP. It is important to note that the civil fine for violation of the manatee protection rules is the same as the boating safety rules.

**Motions 2 through 7**

These motions are all related to the removal of slips or berths in use at a location and transfer to another (g.(2)).

FWC Response: While we have provided some specific comments about the motions related to a potential slip transfer provision in the plan, FWC will need to thoroughly evaluate all new data and all proposed changes before concluding that such a provision will not inadvertently result in increased impacts to, or less protection for manatees. The current proposal, as described by these motions, has not been supported by supporting discussions or data that justify the proposed changes, and does not appear to adequately address manatee protection considerations. Also, in reviewing the minutes of the committee's meetings, we note that the committee did not reach full consensus on this issue. The series of motions is confusing and incomplete, and does not fully address the concept of transfer in most county waters, and generally requires clarification. Slip transfers can be complicated and difficult to implement and track, and may have negative effects on some property owners, so if the county pursues this option it will be important that it be vetted broadly in the community and with the FWC and FWS. Most importantly it needs to result in manatee protection.

Motion 2: FWC concurs that there should be no transfer of any slips from non-essential habitat into essential habitat. If a transfer of slips process can be developed, it must consider transfer of slips in essential habitat to less sensitive habitat areas. It is important to mention that the County, as well as FWC and the Service, need to do a thorough analysis of newer data for the entire County in order to determine if revisions to the boundaries of the essential habitat is needed.

Motion 3: FWC is unsure what this motion accomplishes. It appears to direct staff to develop text that would limit transfers from one region to another, but there is no follow up language



provided. FWC requests that DERM provide more information about the proposed language, and a recommendation concerning criteria for transfer from one area to another.

Motion 4: This motion appears to relate to the same issue as Motion 2. Please clarify the relationship of this motion to others in this group. The language that has been proposed by DERM may need clarification, and, FWC notes again that essential manatee habitat needs to be fully reassessed.

Motion 5: FWC agrees that if considered, transfers must provide a net benefit to manatees. However, the motion does not provide adequate guidance or definitions of the circumstances that would in fact benefit manatees. In order to further consider of this concept, FWC requests that the County provide narrative criteria or evaluation factors that define "net benefit to manatees".

Motion 6: FWC notes that this motion pertains only to the Miami River and we are not sure why it would be limited to the river and not include the whole county, if it is a consideration. The Miami River is one of most sensitive manatee habitats in the county, where human-related manatee deaths continue to occur. This motion does not appear to be consistent with the data that we have reviewed so far for the river. In particular, this Motion removes proposed mitigation criteria that are important in protecting the most sensitive habitats, and in assuring that the impacts from the removed slips are equivalent to the impacts from the added slips. In order for FWC to give further consideration to any proposal for transfer in areas where typically expansion would not be allowed, it must be clear that there is not an increased impact to manatees or their habitat, and that the transfer process is fair and equitable to land owners.

Motion 7: FWC favors this motion as it will benefit any slip transfer option that is developed because it is designed to help assure that slips to be transferred are viable slips, and that their removal would indeed offset increases in slips elsewhere. More details are likely needed to clarify the motion, such as the narrative criteria or requirements for transfer proposed by DERM. However this is the type of motion that can benefit MPP revisions.

### **Motion 8**

Motion 8: Revise language in the MPP relating to single family docks to clarify that the MPP does not recommend any additional restrictions above and beyond current law including specific clarifying language.

FWC response: There has been an increasing recent trend towards multiple slips at single family home lots, with greater than three slips and sometimes up to ten slips. There needs to be a way to address this trend, particularly if slips are being rented or leased out to entities other than the property owners, in which case, they are not single family docks. We suggest that single family docks be defined as those with slips to be used by the owner or lessee of the upland property. Docks or slips used by persons not residing at the property should be required to comply with recommendations in the plan for multi-family or commercial facilities.

### **Motion 9**

Motion 9: Amend the MPP to broaden the definition of transitory docks, increase the allowed density of such docks to 1 slip per 50 feet of shoreline at all locations in the downtown area from



I-395 to SE 15<sup>th</sup> Road and on the Miami River to NW 5<sup>th</sup> Street, and allow a density of 1 slip per 100 feet of shoreline at all publicly owned locations countywide; and to create specific requirements relating to the operation of water taxis.

FWC response: Transitory, or temporary, slips such as tour boats, water taxis, restaurants, hotels, day trips, etc. significantly increase the amount of boat traffic and congestion in a particular region. This high, intense use or frequent boat trips increases the likelihood of boat/manatee collisions or disturbance of sensitive areas. FWC believes such uses should be restricted to areas outside of essential manatee habitat areas, or only allowed at a very low density. New data documents that the area proposed for expansion of transitory docks has high vessel traffic and poor compliance, is intensely used by manatees, and also has relatively high occurrence of vessel-related manatee mortality. The current MPP allows transitory or courtesy docks in this area, however, it is at a low density (one for every 500 feet of shoreline). Because of the high manatee use in this area, the existing lower density (1:500) is more appropriate than the proposed 1 slip per 50 feet of shoreline. No justification has been provided to show that increasing the number of these types of slips will not adversely affect manatees.

This particular area of Miami-Dade can be considered similar to the "Non-Preferred" boat facility siting category areas in the Palm Beach County MPP. The Palm Beach MPP allows this type of use at a density of one slip for every one hundred feet of shoreline owned. However, these areas in the Palm Beach MPP do not experience the high numbers of boats experienced in this portion of Miami-Dade. The Palm Beach MPP also provides dedicated funding for law enforcement. It is therefore reasonable that the density for transient slips be lower in these manatee sensitive areas of Miami-Dade County. FWC notes that there may be other locations in Miami-Dade where new data supports revisions that would allow for more transitory or courtesy docks without increased risk to manatees, but determining this will take a more thorough review of the data than we have had the opportunity to do.

#### **Motion 10**

Motion 10: Revise the MPP to clarify the definition of "existing facility", while retaining the date of October 28, 1984 as stated in the current MPP.

FWC response: FWC supports the language clarifying the procedure for review and evaluation of reconstructing of existing facilities. However, we do not support retaining the October 1984 date. Typically when MPPs are initially developed, affected property owners are concerned about how new MPP provisions will affect what they can do in the future on their property. Also individuals with permit applications that are under review, but not completed when MPPs are approved, have concerns about how the MPP will affect the status of their permit. Different approaches have been used in the various counties, and all were designed to be fair to property owners within the county and provide a clear understanding of what to expect once the MPP was implemented. As the staff member who worked with the county in developing the first MPP, I am familiar with how the date in the plan was selected. It was negotiated among the members of the previous committee and it occurred not long after Hurricane Andrew had hit the community, so there was significant concern for allowing those affected by the storm to be able to rebuild with the same number of slips. Now that the MPP has been in place for approximately 14 years, the affected entities should have rebuilt by now and be accustomed to the provisions of the MPP.



Therefore we do not support maintaining the same date or any date. We recommend that facilities that are currently fully authorized with all appropriate permits be considered “existing facilities”.

### **Motions 11 through 19**

These motions propose site-specific changes to the provisions of boat facility siting within the MPP, almost all of which would allow greater boat activity in areas considered to be essential manatee habitat in the current MPP. Committee records indicate that the site-specific modifications were recommended by DERM. However, the motions do not include supporting data, and documents provided by DERM to the committee do not fully address these changes. We request that DERM staff provide a more detailed review of manatee, habitat, and boating activity data to support each of these recommended revisions. Until additional objective data is provided, it is premature for FWC to render an opinion on these proposed changes. In addition, consultation with the USFWS will be required during this data analysis and comparison.

### **Motion 20**

Motion 20: Recommends that DERM update the maps and technical information in the MPP based on recently acquired data, as summarized in the Data Collection and Information Final Report dated July 2009, and also include a list of all technical data and maps provided to the Committee.

FWC response: MPP revisions can be minor or they can be major. Updates to data and the clarification of one or two sentences are considered minor. Changes in marine facility siting guidelines are considered major, and justification discussions need to accompany those changes in the MPP. We agree that it would be appropriate that much of the information provided by DERM should be incorporated into a revised MPP.

### **Motion 22**

Motion 22: Recommend that the BCC establish a Manatee Protection Fund, funded by annual allocations of \$5 million, from ad valorem revenues.

FWC response: We agree that it would be appropriate to find secure, stable funding for enforcement, education, data collection, and implementation of the provisions in the MPP. A discussion of this funding and how it will be used to reduce existing and future human-related impacts should be included in the plan. Recently approved MPPs for other counties have incorporated enhanced law enforcement provisions that provide the planning and funding needed to accomplish additional on-water protection.

### **Motion 23**

Motion 23: Revises and clarifies the section in the 1995 MPP that describes criteria for projects seeking a variance from marine facility siting guidelines.

FWC response: The background paragraphs appear to improve the description of variance criteria that is currently in the MPP. However, FWC has concerns about some of the revisions to the numbered criteria, and request that DERM staff provide further data or justification for the changes that have been proposed. In addition, whatever changes are made to how consideration



of variances are done, the MPP should reflect that the County, FWC, and USFWS all concur with any variances allowed.

In addition, in the existing Performance Measure Number 9, there is a sentence that addresses new facilities. This has been deleted, but no rationale is included. Please provide justification for this revision.



### III. Implementation

#### **C. Land Development**

| Land development in [Miami](#)-Dade County can adversely impact manatees. Only shoreline and submerged land development is addressed in this Plan, although other development may cause impacts, including stormwater runoff, wastewater discharge, and an increase in overall users of natural systems.

| Potential impacts to endangered species and their habitats shall continue to be considered in the review of all activities requiring a [Miami](#)-Dade County Class I coastal construction permit. Projects or facilities whose construction or operation results in adverse impact to manatees or their essential habitats should not be permitted, except as necessary to protect the health and safety of the public. Essential manatee habitat includes portions of natural and man-made waterbodies used by manatees for feeding and drinking, refuge from extreme cold, shelter for resting and sensitive behavior, and travel or migratory corridors.



### III. Implementation

Permitted projects or activities in any waterbody accessible to manatees shall be required to avoid (or minimize) impacts to the animals or their habitat that arise as a consequence of construction or operation of the facility.

Although some of the subsections under this “Land Development” section may recommend general areas for specific types of development, other regulations such as those for state-owned submerged land, may preclude this development.

#### 1. Shoreline Development Standards

Natural shoreline vegetation shall be maintained. Non-water dependent structures shall be constructed on the upland above the mean high water line, landward or away from wetlands or other natural areas. All new or replacement structures accessible to manatees shall be designed to prevent entrapment of or injury to the animals.

Manatees may attempt to enter submerged storm water drainage pipes and culverts. Any culvert that is closed at one end so that a manatee cannot pass through to a natural waterway may cause an animal to drown. Those outfalls which are greater than 7 and less than 60 inches in diameter, shall be covered with grates or screens with spaces less than 7 inches wide in order to prevent entrapment; these shall be maintained to prevent upland flooding. New culverts installed in areas not previously accessible to manatees shall be covered with flap gates or other devices designed so as not to cause injury to manatees, and prevent the animals from entering the outfall.

DERM currently issues a Class I Coastal Construction Permit for wet slip marinas, but does not regulate construction of dry storage facilities where in-water work is not required. Therefore, the [Miami-Dade County Code](#) shall be modified to include DERM plan review and approval for the construction, expansion, replacement or major repair of all dry storage facilities, including those in municipalities. An existing dry storage facility shall meet the definition of an “existing marine facility” indicated below under III.C.2.a. Marine Facility Siting Criteria. New dry storage facilities should be sited according to Commercial Marina Sites noted on pages 89-93. A state ERP may be required for stormwater runoff treatment of a dry storage facility).

#### 2. Development Standards for Submerged lands

Standards and policies related to the development of submerged land shall address the preservation of non-nuisance submerged vegetation, placement of dredge and fill material, and the size and design of structures below the mean high water line. Destruction or alteration of shallow water habitat used by manatees shall be prohibited unless necessary for the protection of the public or for restoration and enhancement of environmental resources. Blasting in or adjacent to habitat regularly used by manatees (see Essential Manatee Habitat map Figure 3, pages 12-15) shall be prohibited.



### III. Implementation

#### a. *Marine Facility Siting Criteria*

The Marine Facility Siting Criteria in the Manatee Protection Plan generally apply to review and permitting of applications for new or expanded marine facilities for use by multiple boats, including boat ramps, wet and dry berthing, and transient or courtesy docks of all types. The siting criteria do not apply to docks associated with detached single-family residences. The siting criteria are guidelines that are intended to apply prospectively, to assure that the additional vessel docking and storage to meet future needs are accommodated so as to minimize and avoid impacts to manatees or their habitat associated with construction or vessel traffic generated by use of the facility. These criteria do not replace or supplant other permitting requirements, such as those related to water quality, aquatic or wetland vegetation, navigation or other environmental factors.

#### *Criteria Relating to Continuing Use, Repairs and Maintenance of Existing Facilities*

It is not the intention of the Plan to impose new limitations on the number of wet or dry berths or types of vessels at facilities that are lawfully in use at the time of Plan approval, even if the facility occurs within sensitive manatee habitat. It is assumed that the reconstruction, repair, or reconfiguration of a facility that has been lawfully in use does not constitute a new or increased impact on manatees, provided that the number and types of vessels using the facility and frequency of vessel activities remains substantially the same. Therefore, with respect to manatee protection guidelines, **AN EXISTING MARINE FACILITY SHOULD BE PERMITTED TO CONTINUE OPERATION OR UNDERGO REPAIRS AND RENOVATION SO LONG AS THE NUMBER AND TYPES OF VESSELS USING THE FACILITY ARE EQUIVALENT WITH PAST VESSEL USE.** Berthing configuration or facility design may be modified, provided that the types of vessel uses and number of vessels remain consistent with past vessel uses. It is also recognized that there may be circumstances, such as natural disasters, fire, or financial matters, that temporarily render a facility inoperable, even though it has been in use in the recent past.

For the purposes of application of Marine Facility Siting Criteria for manatee protection to permitting of such facilities, ~~An “existing marine facility” for the purposes of the remainder of this Manatee Protection Plan,~~ is one which ~~was~~ is legally operating and is currently producing boat traffic, or has recently produced boat traffic that is still affecting manatees. Facilities that have all required local, state, and federal permits, authorizations and approvals that are still valid, but not yet built, can also be considered existing. ~~in use on October 28, 1984 or later, and if constructed after 1980, must have appropriate DERM permits. Facilities that have not been in use at any time since October 28, 1984 will not be considered existing and will be considered a new facility. An existing marine facility may be reconstructed with at least the maximum number of slips that were in use at one time since October 28, 1984.~~ **ALL EXISTING MARINE FACILITIES SHOULD BE ALLOWED TO CONTINUE WITH THE EXISTING USE, AND MAY RENOVATE** (according to permitting guidelines) as long as there is no change in facility size, including



### III. Implementation

~~no increase in the number of wet or dry slips (unless the facility meets the expansion criteria addressed below). Reconstruction or renovation of older facilities that are legally constructed and permitted, but do not have authorizations that clearly specify the number of slips, including facilities that pre-date permitting programs and have been in continuous use, should be evaluated on a case by case basis. The case by case review will determine the existing number of slips by taking into account the use of the slips by vessels (including motorboat and sailboat). Documentation of vessel use history and documentation showing the facility's highest single day use must be provided by historical aerial photographs. If facilities are vacated as a result of unforeseen circumstances (such as hurricanes, fires, etc.), they could be considered "existing" for a period not to exceed five years prior to the application for a permit. Facilities that have not been in use at any time for five years prior to the application, or where vessel uses are not substantially the same as those that occurred previously, will not be considered existing and will be subject to manatee protection criteria for new or expanded facilities. Existing facilities with valid operating and construction permits that did not include specific limitations on the number of power vessels, may continue to operate without such limitations on use of the existing slips or berths.~~

**Comment [ 1 ]:** This language is copied from FWC's August 2010 letter.

#### Criteria for Siting of New Facilities and Expansion of Facilities

In order to protect manatees and manatee habitat, Florida Statutes 379.2431(2)(t) requires that counties identified by Governor and Cabinet policy must develop area specific manatee protection plans (MPPs) consistent with FWC criteria. These criteria require that boat facility siting elements are necessary components of MPPs. Boat facility siting must address marinas with wet slips and dry storage, boat ramps, and port facilities. Statutes require that boating facility siting elements of MPP's must be incorporated within respective comprehensive plans.

FWC's Boat Facility Siting Guide (August 2000) states that the main goal of boat facility siting components of MPP's will be to minimize the amount of interaction between manatees and boats. In evaluation of the required types of data on manatees, their habitat, and boating facilities and patterns, FWC directs that areas should be identified where boat use patterns show minimal overlap with manatee use patterns, and these may become preferred locations for future marina expansion. In areas where the manatee and boat patterns do converge, an assessment of overlap and the potential negative impacts of vessels on manatees and their habitat must be undertaken. FWC offers the following factors or criteria for consideration of marina and boat facilities:

- Proximity to inlets and/or the ICW
- Existing water depths adequate for clearance beneath vessels
- Presence of seagrass beds
- Proximity to popular boating destinations
- Amount of manatee use, and
- Distances of boat/manatee use pattern overlap
- Expansion of existing facilities may be preferred over new facilities if environmentally sound



### III. Implementation

- *There should be no impact to seagrass, and mitigation for seagrass destruction should not be allowed (as a means of justifying impacts)*
- *Areas with adequate depth and good flushing which require no new dredging are preferable*
- *Locations near inlets and popular destination are preferable*
- *Piling construction is preferred over dredge and fill techniques*
- *Marinas should not be sited in essential manatee habitats; and*
- *Marinas should not be situated in areas with high manatee mortality occurrence*

These factors and approaches were considered in the development of guidelines identifying recommended sites for new or expanded marine facilities, and recommended sites for limited expansion or selected types of facilities. These guidelines address both commercial and residential facilities, other than single-family docks associated with detached single-family residences (for more information on single family docks, please see Revised Draft Page 17).

When reviewing proposals for new or expanded marine facilities, the draft of vessels and water depth must be considered for adequate clearance over manatees. In waterbodies which may be too narrow for the animals to avoid vessels by moving aside, water depth must be at least 3 feet deeper than the average draft of vessels using the facility. A boat slip along a marginal dock or bulkhead is generally considered to be 20 feet wide by 40 feet long, in this Plan. The docking of motorized vessels (other than sailboats) along bulkheads in excess of the number of approved slips shall be restricted through a covenant associated with the Class I permit or through the DERM marine facility operating permit. All Class I permits for project sites accessible to manatees should contain pertinent special conditions from Appendix F.

A Class I permit is currently required for wet slip marinas and any in-water work related to dry storage facilities, but not for the upland dry storage buildings. All new marine facility sites and marina expansion sites in Dade coastal waters should meet the following criteria:

- 1) cause minimal or no manatee/boat travel pattern overlap
- 2) cause minimal or no wetland or benthic community disturbance or similar environmental impact
- 3) be compatible with surrounding land use

In order to comply with criterion 1), the marine facility may not be situated so that a travel route through areas of heavy manatee use would be more likely than a route through areas used less by manatees, in order to travel to popular destinations. If only sailboats with minimal horsepower auxiliary motors (allowing the vessels to travel at a maximum speed of 8 knots) or without motors are permitted to be moored in a marina, only criteria 2) and 3) must be met. Criterion 1) was primarily considered in choosing the following sites because criteria 2) and 3) are extremely site specific. Existing land use (zoning) was not always considered when developing this “recommended marine facility site” map (Figure 19a-c).



### III. Implementation

Each category of vessel facility addressed below may impact manatees differently from another type of facility. For example, a large number of powerboats may be launched at boat ramps (the number launched varies with the number of ramps and parking space at the location, how quickly users get their boats into and out of the water, and other factors), while a single-family residence launches a relatively small number (generally one or two). Transitory slips, such as those at a fueling facility or waterfront restaurant where many boats may use the facility during a day, could generate more boat trips per slip than another type of facility such as a freight terminal or boat yard, where fewer vessels enter or leave the facility daily. Large full service commercial marinas with dry storage may generate more boat traffic than a small multi-family residential marina.

All vessel storage and launching facilities should be required to post manatee informational displays and manatee signs on site as noted in section “III.D.2. Awareness” of this document.

#### ***Commercial Marina Sites***

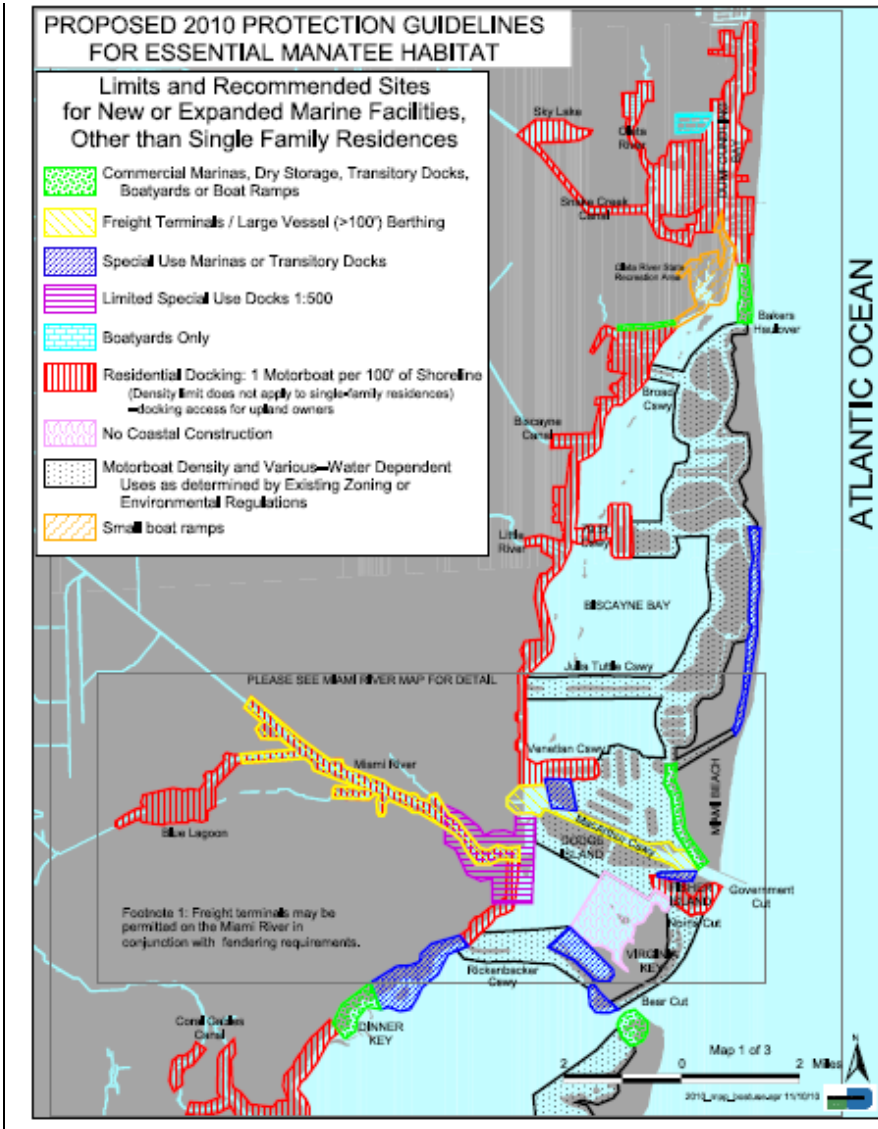
For the purpose of this section of the MPP, “commercial marina” refers to publicly or privately operated marine facilities that are not associated with an adjoining residential development and that provide wet or dry berthing. For the purpose of this section, a trailerable boat is considered to be a boat less than 26 feet in length. This description is based upon “nontrailerable boat” as defined in 50 CFR 86, Boating Infrastructure Grant Program: “Nontrailerable recreational vessels mean motorized boats 26 feet or more in length manufactured for and operated primarily for pleasure, including vessels leased, rented, or chartered to another person for his or her pleasure.”

Wet and dry boat storage facilities contribute to the number of boats entering Miami-Dade County waters. ~~The information on page 94 applies only to facilities storing power boats.~~ Sites recommended for marina development and expansion with no restriction on the number of slips from a manatee protection perspective include the following areas as shown in Figure 19a-c.



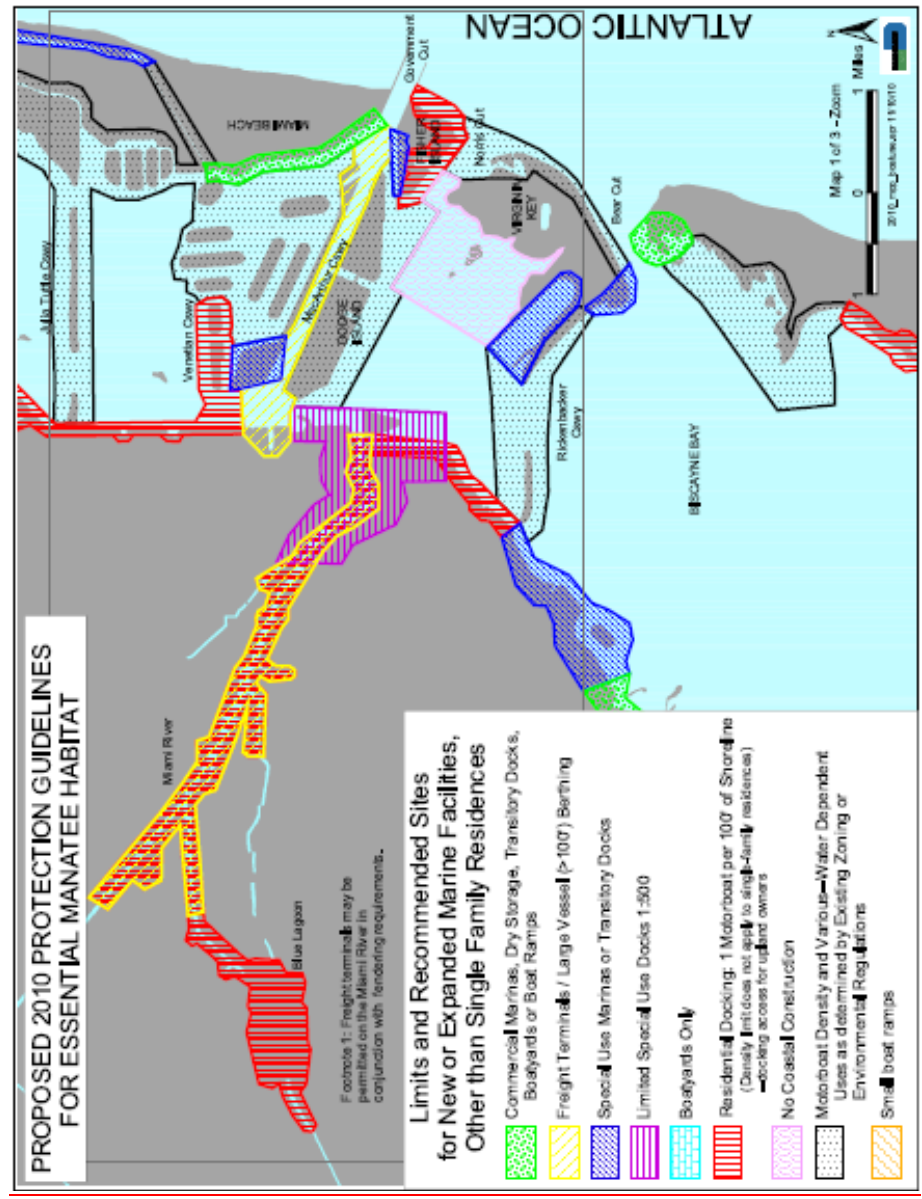
III. Implementation

FIGURE 19A  
RECOMMENDED MARINE FAC. SITES



III. Implementation

**FIGURE 19B**  
**RECOMMENDED MAR. FAC. SITES**

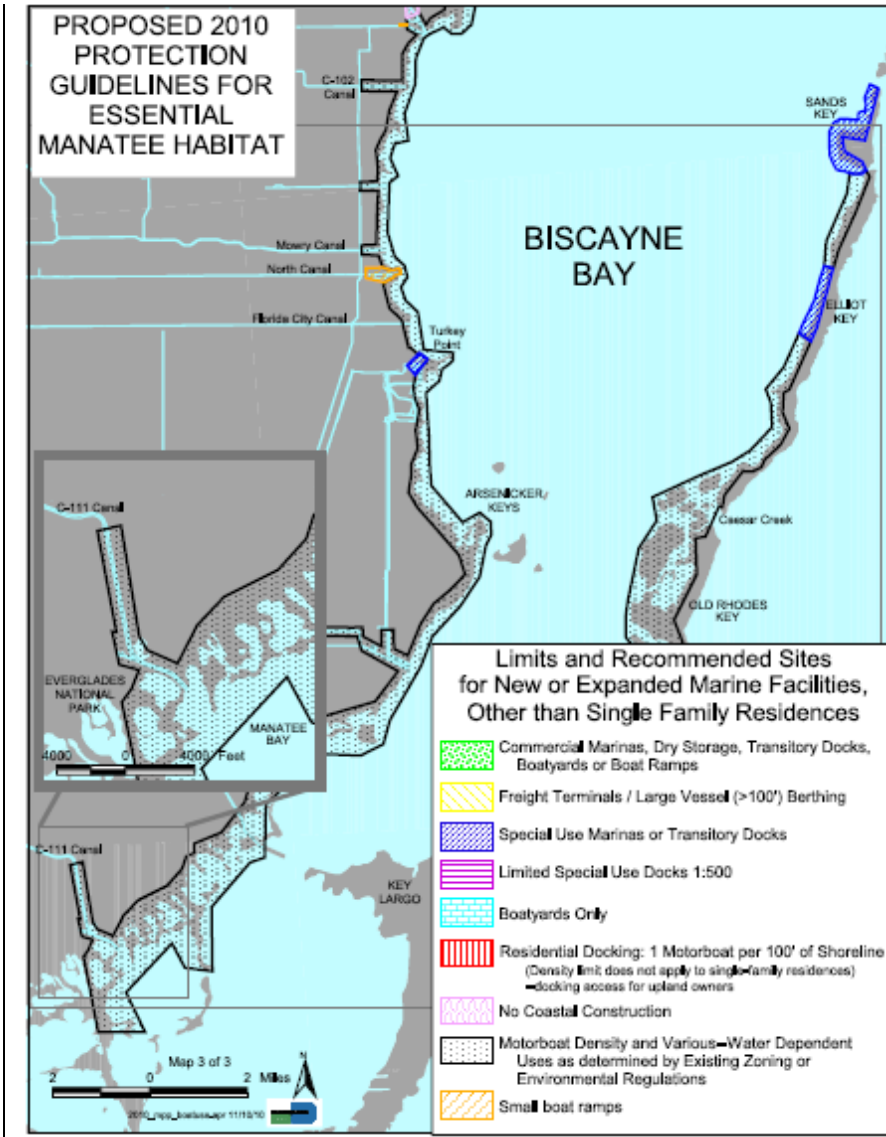






III. Implementation

FIGURE 19 **DE**  
RECOMMENDED MARINE FAC. SITES





### III. Implementation

- 1) Since the number and frequency of manatee sightings has been relatively lower on the east side of Biscayne Bay along Miami Beach ~~between~~ near Haulover and Government Cuts, and most boats using a facility constructed in this area would be likely to travel along Meloy channel and exit to the Atlantic Ocean through either of these inlets, marina development ~~should be considered~~ is recommended in this area. Expansion of Crandon Marina on Key Biscayne ~~could be considered~~ is also recommended due to its nearby ocean access which excludes designated manatee habitat.
- 2) The Keystone Point area located east of Biscayne Boulevard between NE 135 and NE 125 Streets is due west of Haulover Cut. Boats using a marina in this area would be expected to go to the ocean through this inlet, traversing through a very small portion of the Bay, which although used by manatees, is protected by vessel speed limits. Boaters whose destination is south Biscayne Bay have direct access to the Meloy Channel at Broad Causeway.
- 3) FIU/Oleta State Park shorelines (not including the Oleta River) are recommended as locations for public marinas, boat ramps, and transient or courtesy docks for shallow draft boats of a size that can typically be stored and launched by trailer (less than 26 feet in length), provided that no dredging or filling of seagrass would be required to construct or operate the facility.
- 4) Marina expansion at Dinner Key and at Matheson Hammock Park is recommended due to less frequent manatee sightings in the immediate area, and the improbability of boats using the facility to travel through areas of heavy manatee use. Although manatees have been observed in the nearshore areas, vessels travel mainly in marked channels within speed zones until reaching open water destinations in south Biscayne Bay, where the risk of conflict with manatees is relatively low.
- 5) Some currently operating marinas south of Rickenbacker Causeway may be considered suitable sites for expansion of facilities available for use by the general boating public, especially for launching of smaller boats (less than 26 feet in length) that are generally stored on trailers or in dry berths, provided that no dredging or filling of manatee habitat would be required to operate or construct such a facility. ~~Since~~ Since boaters using these facilities generally are heading to south Biscayne Bay or offshore destinations that do not require extensive travel through essential manatee habitat, opportunity for conflict between vessels and manatees is limited. Manatees near shore should be protected from high-speed vessel impacts by the approved speed zones. Recommended locations for expansion or new facilities are:
  - Chapman Field/Deering Bay is recommended for a public-access ramp or upland dry storage for shallow draft boats that can be trailered (less than 26 feet in length), provided that vessels use existing basins and marked navigation channels in Deering Bay vicinity, and no dredging or filling of habitat currently

### III. Implementation

being used by manatees (including seagrass habitat) would be required to construct or operate such a facility.

- Homestead Bayfront Park/Convoy Point is recommended for expansion of public marina, ramp, or transient or courtesy docks, for shallow draft boats that can be trailered (less than 26 feet in length).

The installation of new or additional boat lifts should be permitted in the suitable areas noted above.

Areas south of Rickenbacker Causeway that are NOT SUITABLE for marina expansion or development in which moderate to heavy manatee use, mortality or sensitive manatee behavior is documented, include the following:

- a portion of west Key Biscayne from Crandon Marina to the south shore of Pines Canal,
- the Coconut Grove shoreline from the south side of Dinner Key Marina to Coral Gables Waterway,
- all of Coral Gables Waterway located east of SW 57 Avenue and all other canals in Coral Gables (excluding the Matheson Hammock Marina area),
- ~~the Kings Bay/Deering Bay waterways located between theoretical SW 140 Street and SW 160 Street,~~
- ~~the Black Point area waterways, and the Black Point Marina basin and canal “No Entry” zone~~
- ~~the Homestead Bayfront Park/Biscayne National Park marina basin areas.~~

Boating activity studies have documented high levels of vessel traffic and remarkably poor compliance with existing vessel speed zones in Black Point channel and adjoining seagrass meadows used by manatees. Until this problem is addressed, expansion is not recommended. However, if compliance is improved to acceptable levels, through management actions such as but not limited to targeted enforcement, boater education, and improved signage, limited upland, ground-level public storage for trailered boats (less than 26 feet in length) is recommended on the south side of Black Point Marina, at the site of the former “Pirates Spa”, provided that access to the Bay is through Goulds Canal. Expansion proposals could be considered in the future on a case-by-case basis, pending approval of enforcement and education plans and compliance improvement, subject to approval by FWC and FWS.

- 4) ~~Marina expansion at Matheson Hammock Park could be considered due to infrequent manatee sightings in the immediate area, and the improbability of boats using the facility to travel through areas of heavy manatee use.~~

~~The installation of new or additional commercial boat lifts should be permitted in the suitable areas noted above.~~



### III. Implementation

#### ***Fuel and Transitory Docks***

For the purpose of this plan, a “transitory slip” means docks, slips or other shoreline structures used for the temporary mooring of vessels (less than one day, but may include overnight or multiple day use if camping), including docks at non-fee public facilities (eg. public parks or ramps), facilities used for water-dependent public transportation, designated day-use slips at restaurants and hotels, and staging docks, piers, seawalls, and/or slips required for the operation of dry storage facilities or boat ramps. Transitory slips cannot be used for the permanent or extended storage of vessels. Slips used for boat rentals or slips rented to patrons for extended use are not considered transitory.

Expansion of marine fuel facilities and transitory (~~transient~~) boat slips should be permitted in those areas listed above under Commercial Marina Sites, ~~numbers 1, 3 and 4 only~~. Transitory docks are also recommended along Indian Creek in Miami Beach, Vizcaya, the north shoreline of Fisher Island, the south shoreline of Virginia Key and Marine Stadium basin along Rickenbacker Causeway, Sands Key, and Elliott Key, without limit in number solely related to manatee protection (however, other factors, such as water depth, seagrass or other sensitive habitats may affect number of slips that can be accommodated). ~~These areas are not near habitat frequently used by manatees.~~

Fuel dispensers should be located on the upland if feasible. In order to aid in maintaining water quality, secondary containment shall be required on any fuel line extending over water along a dock. Fueling facilities shall meet the following criteria contained in state rule 16N-16.035, effective July 1, 1993:

- 1) All equipment used for transferring fuel shall be kept and maintained in good repair and excellent operating condition.
- 2) Hoses used for a transfer of fuel shall be in good condition with no cracks or bubbles in their outer cover material. Hoses shall be maintained so that the inner lining or core is not exposed to damage from external forces. Hose and nozzle connections must be in good condition and not leaking. The fittings, clamps and bands must be compatible to the fuel being transferred, and must be in good condition and securely attached to the hose. These fittings, clamps and bands shall be used only for the purpose for which they are designed.
- 3) All systems will be equipped with hard connections or delivery nozzles. The nozzles shall hang vertically while not in use and will not be lying on the ground or dock. The transfer equipment shall be equipped with an emergency shutdown device unless gravity fed. The person in charge, or his designee, must be in the proximity and have immediate access to the emergency shut-down device during all fuel transfers.
- 4) Any fuel remaining in a hose after a transfer shall not be drained onto the ground or into the water.
- 5) Dispensers located in such a manner that they are subject to being damaged or destroyed by impact, shall be equipped with safety valves. These safety valves shall stop the flow of fuel if the dispensers are damaged or destroyed by impact.

#### ***Freight Terminals and Large Vessel Docking Facilities***

Due to the necessity of deep dredged channels and existing regulations restricting new dredging in Biscayne Bay, opportunity for expansion of freight terminal and cruise ship terminal

### III. Implementation

construction is limited. Manatee use is heavy in the Miami River and on the southwest side of the Port of Miami. Therefore, expansion of freight or large vessel terminals shall be limited to the north shore of Fisher Island, the east portion and north side of the Port of Miami, existing boat basins along the City of Miami shoreline between NE 6 and NE 9 Street, and the south shoreline of MacArthur Causeway. Upon implementation of the recommendations in this section noted below, expansion of large vessel docking facilities within appropriately zoned areas, such as the Miami River, may be approved. Large vessel docking facilities shall not be expanded within state designated manatee protection “No Entry” zones. All existing freight terminals and other facilities mooring vessels greater than 100 feet in length shall be retrofitted with fender systems or other design which provide at least 4 feet of standoff from the bulkhead or wharf **under maximum operational compression**. This standoff is required in order to prevent manatees from becoming crushed between a vessel and bulkhead or other structure. Fenders shall be installed entirely above the mean high water line, and maintained.

A minimum of 3 feet of standoff at maximum compression (fenders, cantilever docks/bulkheads, or other system) is acceptable in the Miami River. However, an exemption to this requirement in the Miami River applies to a 1,600 linear foot narrow area bordered by the Bernuth and Universal terminals on the south and the Antillean and the former Hyde terminals on the north sides of the River. This area may be allowed to remain without fendering as a reasonable option in compromise as long as there is no development or expansion of berthing for terminals to the west of this passage beyond what are already existing facilities (as defined at the top of page 89). This exemption means that there will be no new slips or mooring facilities for large vessels approved within or west of this 1,600 linear foot area. Any takeover of an existing facility by new or different operators will not be considered as new development provided new slips are not created. Further improvement of an existing facility will not be prohibited, provided berthing area is not expanded. Replacement or ~~major~~ renovation of any large vessel berthing in a manatee habitat, including this portion of the Miami River will require standoff. If the 3 foot standoff is achieved in the future, the development and expansion of large vessel docking facilities may be permitted on the River.

~~Within 6 months after approval of this Plan by the Florida DEP or Governor and Cabinet, DERM shall notify all affected property owners of this standoff condition and their need to comply, including options acceptable for compliance. The affected property owners have 12 months after receipt of this information to comply with the standoff requirement or inform DERM of intent to construct a cantilever dock or bulkhead, or any other type of standoff requiring permit approval. In the latter case, a complete permit application shall be submitted to all permitting agencies within 12 months of receipt of the DERM information, and construction of the permitted standoff project shall be completed within 12 months of receipt of all required permits.~~

The study of prop guard technology is encouraged. The Manatee Protection Plan Review Committee is unaware of a feasible prop guard in existence for tug boat or freighter use. If a prop guard or similar device is recommended for use on tug boats in the future, the requirement of the device should receive public review and must receive county commission approval prior to implementation. Should such a recommendation come to pass, economic incentives should be considered for retrofitting tugs with the device for manatee protection.



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#### *Special Use*

Areas designated for mooring vessels for special uses such as commercial fishing, charter fishing boats, and ocean-going luxury yachts (including “mega-yachts”) include those noted above under “Commercial Marina Sites” on page 89 and “4. Freight Terminals, etc.” on page 94 in addition to the ~~entire~~ shoreline of Watson Island (located on MacArthur Causeway).

#### *Limited Special Use in Downtown Area*

There is a recognized interest in accommodating expansion of certain water-dependent uses in the downtown Miami area, to complement traditional uses and create opportunities for boating recreation, while still providing for protection of an area with consistent manatee use and human-related manatee mortality issues. To help seek a balance, limited expansion is recommended for special types of marine facilities in a portion of the downtown area. “Limited special use” dockage includes courtesy docks, water dependent public transportation dockage and commercial/charter fishing boat docks with a maximum density (including existing boat slips) of 1 vessel slip per 500 feet of shoreline, ~~or one slip per parcel, whichever is more restrictive~~. This applies to the west Biscayne Bay shoreline from the ~~Port of Miami I-395~~ bridge south to SW 15<sup>th</sup> Road including Bayside and the Miami River from the mouth, upstream to the NW 5<sup>th</sup> Street bridge, and including Watson Island. ~~Sites or additional slips in sensitive manatee habitats may even be considered for transitory docks if such proposals are government-owned, government operated, non-revenue generating, and there is demonstrated need for this type of public access.~~

Comment [ 2]: Suggested by FWC

Comment [ 3]: Language suggested by FWC.

#### *Boat Yards*

In any Miami-Dade County coastal waters with vessel speed restrictions of “Slow Speed” year-round, renovation or expansion of an existing boat yard (including waterfront boat building facilities) is preferred to the construction of a new facility. New boat yards, including waterfront boat building facilities, should be permitted at the Port of Miami, ~~and~~ along the eastern (Miami Beach) shoreline of Biscayne Bay ~~and in the two canals located in northwest Dumfoundling Bay between NE 185 and NE 190 Streets~~, where compatible with the surrounding land use and other permitting and zoning requirements. Elsewhere along the Biscayne Bay shoreline or in small dead end canals on Biscayne Bay, the construction of any new boat yard should generally be prohibited.

#### *Boat Ramps*

Boat launching facilities greatly contribute to the number of boats entering Miami-Dade County tidal waters. These ramps should meet the criteria noted above in III.C.2.a. Marine Facility Siting Criteria. In addition, at all boat ramps located in essential manatee habitat, parking should be limited to the existing spaces (including existing overflow parking both on and off paved areas) only during the winter manatee season, November 15 through April 30. Excess parking should be prohibited and enforced by Miami-Dade County (through a fine, and revocation of the MOP where applicable, if not in compliance).

### III. Implementation

For the purpose of this section, a trailerable boat is considered to be a boat less than 26 feet in length. This is based upon “nontrailerable boat” as defined in 50 CFR 86, Boating Infrastructure Grant Program: “Nontrailerable recreational vessels mean motorized boats 26 feet or more in length manufactured for and operated primarily for pleasure, including vessels leased, rented, or chartered to another person for his or her pleasure.”

#### ***Suitable Boat Ramp Sites***

Sites suitable for boat ramp development or expansion, including the installation of new or additional boat launches or parking spaces, are located in previously dredged portions of the following areas:

- The east side of Biscayne Bay in the vicinity of Haulover Cut, Government Cut, and Bear Cut
- ~~South Biscayne Bay including~~ southwest Key Biscayne, the Dinner Key area, Matheson Hammock Park, and Turkey Point.
- Chapman Field/Deering Bay is recommended for a public-access ramp for shallow draft boats less than 26 feet in length provided that vessels use existing basins and marked navigation channels in Deering Bay vicinity, and no dredging or filling of habitat currently being used by manatees (including seagrass habitat) would be required to construct or operate such a facility.
- Homestead Bayfront Park/Convoy Point is recommended for expansion of public marina, ramp, for shallow draft boats less than 26 feet in length.
- FIU/Oleta State Park shorelines (not including the Oleta River) are recommended as locations for boat ramps for shallow draft boats less than 26 feet in length, provided that no dredging or filling of seagrass would be required to construct or operate the facility.

New boat ramps located in other areas than those listed above may be considered provided they comply with the Variance Performance Criteria-Measures for docking facilities noted under Section 2b.(1) on Revised Draft Page 19-2098.

Miami-Dade County Park and Recreation personnel should supervise parking in trailer spaces at County-owned marinas on weekends and holidays to ensure that only vehicles with trailers use the spaces.

#### ***e. Residential Dock Density***

For the purpose of this plan, “residential dock facilities” are those associated with an adjoining residential land use, where the docks are occupied by vessels owned by persons residing at the adjoining property. Residential dock facilities may have a significant cumulative impact on manatees and their habitat. In this Manatee Protection Plan, a single family residence is considered to be a detached building having a roof and outer walls entirely separated from any other structure by space, and occupied by members of a single family with not more than three outsiders, if any, accommodated in rented rooms. A multifamily residence is a building occupied by more than two families, in which each family shares a roof and/or outer wall(s) with



### III. Implementation

at least one other family. The density of new coastal structures, including multifamily residential docks, should be limited in areas that are essential to the survival of the manatee. Figure 3 (page 12-15) indicates waterbodies and shorelines that have been determined essential habitat for the manatee. In waterbodies or shorelines that are not identified as “essential habitat” for manatees, limits on residential dock density or configuration will be determined or may be limited by other existing environmental, navigation or land use regulations.

#### ***Within Essential Habitat Areas:***

Each single family residence shall be limited to two power boat slips, and vessels using those slips shall be registered to the upland property owners or residents. Single family dock construction is subject to local, state, and federal regulations and policies. Zoning, land use, building, and environmental standards, statutes, ordinance, or rule may determine or limit the size and configuration of a dock or number of slips that may be permitted at a particular location. It is not the intent to impose any additional restrictions on single family docks. Single family docks shall continue to be constructed according to ~~the all existing DERM coastal construction applicable regulations and guidelines.~~ Unless otherwise limited to a lesser number, single family docks that request more than four slips will be reviewed under provisions of the plan for multifamily facilities with five or more slips. Slips should be occupied by vessels owned by the residents of the single family home on the associated parcel.

For multifamily residential developments within essential habitat areas, multi-slip docking facilities with more than five boat slips should be permitted to construct no more than one powerboat slip per 100 feet of owned developable shoreline. Any additional slips (existing or newly constructed) may be occupied by sailboats. In no case should the number of new powerboat slips exceed the number of multifamily residential units approved and/or constructed. If a DERM Marine Facilities Operating Permit is required, it should specify that all vessels docked in a multifamily facility should be registered to individuals residing at the site.

Sites on tributaries or canals which are upstream of or flow into a water body designated as an essential habitat area, should be subject to the aforementioned essential habitat standards.

#### ***d. Residential “No Entry” Areas***

Several areas heavily used by manatees during the winter have been designated “No Entry, Residents Only, November 15 - April 30”. These include portions of Biscayne Canal, Little River, and Coral Gables Waterway (Figure 16a-g, page 54-60). Single-family dock construction should be limited to two boat slips with only the upland residents permitted to use the dock space in these areas on a permanent basis. Temporary docking by authorized visitors should be allowed. Construction or renovation, other than emergency repairs required for the safety of the residents, shall be undertaken during the manatee summer season (May 1 - November 14).

#### ***e. No Coastal Construction***

Undeveloped areas of extremely frequent manatee use are designated “no coastal construction or vessel access”. These areas are designated “No Entry” in Figure 16a-g, pages 54-60, and include the northwest shorelines of Virginia Key, the north portion of the Black Point Marina basin, and

### III. Implementation

the area of Black Creek from the salinity control structure (S-21) south to the north shore of the entrance to the Black Point Marina basin. No construction, other than environmental restoration or work required to protect the health and safety of the public, shall be permitted in these areas.

#### ~~f.~~ *Freshwater Lakes*

The Miami-Dade County Commission should pass an ordinance to give DERM permitting authority in freshwater lakes and canals which have vessel speed restrictions established for manatee protection. The construction restrictions DERM should impose shall be the same as those for similar uses in tidal waters noted above in III.C.1 through III.C.2g.

#### *b. Performance Measures and Standard Procedures for Projects Seeking a Variance from Marine Facility Siting Criteria*

There may be circumstances when a new or expanded marina, dry storage facility, boat ramp, or other docking or mooring facility is proposed that is not consistent with Marine Facility Siting Criteria described in the preceding sections. Examples could include a proposal for more wet or dry powerboat slips than recommended at a location, or a proposal for a type of facility or operation that is not recommended at a particular location. Furthermore, types of facilities or vessel operations that were not specifically contemplated by this plan may be developed in the future. Also, technology or procedures may be developed in the future to mitigate or offset the potential impacts to manatees or their habitat that otherwise may have been caused by increased numbers of vessel trips associated with new or expanded facilities. It is recognized that in such situations, if it can be demonstrated that the non-conforming project and its operation does not adversely affect sensitive habitats and manatees, a process for consideration of a variance or exception should be available. This section of the MPP therefore provides performance measures and standard procedures for evaluation of requests for variances for non-conforming projects, with assurance that manatee protection requirements will still be met.

In order to qualify for a variance or exception, the proposed project must be able to demonstrate that it meets a set of standards and measures intended to avoid or minimize potential impacts to manatees and especially sensitive habitats that could arise from the facility or the vessel trips that it may generate. As an alternative, a proposed increase in number of powerboats above what is recommended, or an increase in a type of vessel use that is not recommended, may be mitigated by removal and transfer of an equivalent number and type of slips or berths that are actively in use at a nearby location. Each of these procedures is described below. The measures and transfer procedure address only regulatory requirements related to manatee protection, and do not replace or obviate need for compliance with all other applicable environmental and land use regulations. In both cases, the proposed project must demonstrate that all other permitting and land use requirements can be met, before being considered for a variance or transfer procedure. Both variances and transfer requests must be approved by DERM, FWC, and FWS as part of the normal course of their respective regulatory reviews and consultations.

Comment [ 4]: FWC language



### III. Implementation

#### b.(1) Variance Performance Measures

~~Requests for higher ratios for multi-family docking facilities subject to the 1 powerboat slip to 100 feet of shoreline restriction, and new boat ramps proposed at locations not approved under "Suitable Boat Ramp Sites" (page 96), higher ratios or requests for uses proposed in a location not shown in the preceding narrative sections and maps as an acceptable site for that particular type of facility may be considered if ~~the~~ it is demonstrated that the facility and its use ~~can demonstrate that it will~~ would not have an adverse impact on manatees. ~~In no case shall the maximum total buildout of 5 powerboat slips per 100 feet of owned contiguous shoreline be exceeded. Uses proposed in a location not shown as an acceptable site for that particular type of facility on the map in Figure 19a-c, p.90-92, may be evaluated according to the following listed criteria numbered 1-9.~~ This demonstration would be satisfied if the facility met applicable Performance measures criteria from the following list. However, adherence to these criteria does not automatically ensure the applicant's ability to exceed the allowable powerboat restrictions as defined above. The plan restrictions will remain in effect, if at the time of review, additional information about manatees or the proposed facility indicates threats are not addressed by these criteria. Consideration can be given for additional site-specific factors or operating practices (e.g. seasonal operation, etc.) that may be proposed by either the applicant or the County, that may result in improved conditions for manatees or manatee protection. Any facility exceeding the allowable powerboat slip restrictions ~~(1:100)~~ or use according to the ~~criteria~~ Performance Measures defined below, must agree to obtain and comply with an annual marina operating permit (MOP) and/or Class I Coastal Construction Permit if required, and proffer a covenant in favor of Miami-Dade County which records the number and types of slips or berths, even if the facility does not meet the threshold established in the MOP ordinance. The ~~criteria~~ Performance Measures are:~~

- ~~1. The facility may not be located within a cold-weather aggregation area or other area where sensitive manatee behavior occurs, or in a sole travel corridor from the area. The cold-weather aggregation, sensitive sites, and travel corridors include Biscayne Canal, Little River, the Miami River/Tamiami Canal, Coral Gables Waterway, Virginia Key "no entry zone", Black Point Marina basin, and the vicinity of cooling canals at the FPL Turkey Point power plant.~~
- ~~2. The waters adjacent and channels leading to the facility are designated "slow speed" or "idle speed" as defined by state rule Ch. 68C-22.025 F.A.C., as authorized by pursuant to the Florida Manatee Sanctuary Act, Ch. 379.231(2) F.S. 62N-22 (formerly 16N-22) F.A.C. or Boating Restricted Areas Ch. 62N-24 (formerly 16N-24), F.A.C.~~
- ~~2. The facility is not located within a cold-weather aggregation area or other area where sensitive manatee activities occur, or in a travel corridor from these areas, as indicated on pages 22 and 27.~~
3. The facility must provide net benefit to manatees and/or their habitat above what would otherwise be required for the project. Mitigation needed to satisfy other local, state, or federal government permitting cannot be applied to this requirement. For example, facilities may include creation or enhancement of a manatee "refuge" space as part of the design, a conservation easement, restoration of adjacent wetlands habitats or hydrology such as mangrove or seagrass ~~restoration~~ to increase the net ~~coverage~~ ecological value of

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the nearby area, reduced nutrient input to receiving waters, requiring prop guards on any high traffic vessels such as water taxis ~~or dive boats~~ or rental boats, etc.

4. The marina facility and channel construction and subsequent uses will neither destroy nor negatively impact ~~mangrove coastal wetlands~~ and benthic (seagrass, hard bottom, etc.) communities and the water quality.
5. The facility must have sufficient water depth (as defined herein) in the marina basin and in any ~~marked or unmarked access~~ channel or waterway typically used for access to or egress from the basin, and does not require any new dredging or filling that would degrade shallow water habitat (this may exclude maintenance dredging, excavation into uplands or pile installation). Sufficient water depth shall be water depth, measured at mean low tide, of 3 feet greater than the draft of vessels occupying the slips on a permanent basis, and/or 3 feet greater than the draft of vessels typically using the facility on a transient basis. Vessel drafts shall be obtained by using best available data. Entrance/exit channels near marinas shall be adequately marked, in accordance with state regulations, if marina repairs or expansion are proposed.
6. The site shall contain appropriate site-specific informational signage (above and beyond the standard information sign requirements for all facilities) ~~(including vessel speed and manatee information signs)~~, and provide educational material to tenants advising boaters of essential manatee habitats in the vicinity.
7. Multi-family residential docking facilities will require that all vessels moored at the site be registered to individuals residing at the site. Requests for more slips/berths than residential units at the site or at densities greater than 5 slips per 100 feet of shoreline shall not be approved.
7. ~~The marina has adequate water circulation, tidal flushing, and meets State of Florida and local water quality standards.~~
8. ~~In traveling to principal destinations or from principal origination or launch points determined by the boat study, vessels using the facility should not travel through manatee travel corridors, cold weather aggregation areas or other especially sensitive manatee habitats as described on pages 11-17.~~
8. Before expanding and exceeding the allowable powerboat slips defined above, an existing facility must demonstrate not less than 85% occupancy over the previous 2 years of operation. ~~New facilities should be able to demonstrate the need for additional boat slips in the vicinity based on occupancy of existing marina slips within the boater sphere of influence.~~

#### *b.(2) Removal of Slips or Berths in Use at a Location and Transfer to Another*

Removal of dry or wet slips or berths in use at one or more locations may serve as a form of mitigation to compensate for the potential impacts to manatees from proposed new operations or expansion of marine facilities in sensitive habitats above the guidelines recommended for manatee protection. The transfer process requires a review and evaluation by DERM, in coordination with state and federal regulatory authorities, of the proposed transfer for potential adverse impacts to manatees as well as evaluation of other requirements of Chapter 24 of the Code of Miami-Dade County. The review will include an evaluation of the type of facility and



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typical uses associated with both the historically existing slips at the donor property and the proposed use of the slips at the recipient property. To assure that the impacts from proposed new slips would not exceed the potential impacts from the slips that are to be removed for mitigation, this analysis must be site specific and be based on a consistent set of mitigation rules applied to all such projects. Furthermore, to assure that the impact of new powerboat slips remains fully mitigated, a suitable restriction (i.e. restrictive covenant) on the donor property is required to record that the historical use was transferred, and assure that the original slips would never be reoccupied by powerboats. This is similar to other forms of environmental mitigation, or conservation easements, intended to preserve the mitigation benefits in perpetuity. Transfer applications shall not be approved without concurrence of federal and state regulatory agencies with authority for manatee protection.

The transfer procedure has implications for the owners or future owners of donor properties. These owners have an expectation that continuing use or reconstruction of historical motor boat slips will be found consistent with manatee protection guidelines. This would no longer be the case if the historical use had been transferred to another parcel. For these reasons, both from an assessment of the biological merits of the mitigation for a proposed project, and in fairness to owners whose slips are sought for transfer, slips cannot simply be “reallocated” to another property without participation and consent of the “donor”.

The following mitigation criteria will be used to evaluate requests for slip transfer.

1. Slip transfers only have the ability to offset potential impacts if they represent an actual reduction in use of equivalent slips at the donor site, and the slips from the donor site are not be reoccupied.
2. To assure no net increase in impact to manatees, the type and frequency of vessel use associated with the slips removed (transferred) from a donor site must be equivalent to the type and frequency of use at the receiving site. To qualify as a transferable slip, all donated slips shall be documented showing consistent, past use by motorboats. Documents would include records showing the vessel use and aerial photographs, based on the highest single day slip use by motorboats during the period not greater than five years prior to application for transfer.
3. Donor sites must be located in areas designated as essential habitat, as defined in the MPP. Slips located in areas recommended for expansion of commercial marinas, dry storage, transitory docks, boatyards, ramps, or large vessel (>100') berthing under the MPP do not qualify as donor slips.
4. To assure no net increase in impact to manatees, slips may only be transferred to a site that is a less sensitive or equivalent manatee habitat within the same tributary or geographic area. For example, for a project on a canal or river, both the donor and recipient sites should be located on the same waterway. Within cold weather aggregation areas and travel corridors to them, such as the Miami River, Little River, Coral Gables Waterway etc, slips may be transferred downstream or may be

Comment [ 5]: FWC language

Comment [ 6]: FWC language

Comment [ 7]: FWC language

### III. Implementation

consolidated on one of several contiguous parcels. For a project in Biscayne Bay or adjoining bays and sounds, the donor and recipient sites shall be located within close proximity of each other. The goal is to set a distance between sites that would not create a significant difference in vessel traffic impacts.

**Comment [ 8]:** FWC language

5. Recipient sites shall not be located in state manatee protection areas designated as “No Entry” or “Limited Entry”, as defined in 68C-22.025 F.A.C., including portions of the Little River, Virginia Key, Coral Gables Waterway, and Black Creek canal and marina basin.

**Comment [ 9]:** FWC language

6. There shall be an overall net reduction in slips from the donor site to the recipient site.

**Comment [ 10]:** FWC language

7. Only slips in compliance with all required environmental and land use approvals are eligible for transfer. For slips located in or over the water, documentation of approval of the submerged lands owner is required. Illegal or unauthorized docking is ineligible for transfer.

8. Transfers require the consent of the property owner(s) involved (donor and receiving properties) and restrictive covenants, in perpetuity, running with the land in favor of Miami-Dade County must be recorded on the donor and recipient sites.

**Comment [ 11]:** FWC language

9. Restrictive covenants on donor sites must prohibit additional structures or launching of motorboats. Restrictive covenants on recipient sites will 1) prohibit additional structures for launching of vessels beyond the number achieved with the transfer; 2) prohibit the donation of slips to other properties; and 3) specify the type of vessel use and prohibit any change of use of the slips from the type approved during transfer. Covenants must be included as requirements or conditions in permits and submerged land leases (if required), and recorded prior to commencement of construction.

**Comment [ 12]:** FWC language

10. In order to preserve riparian property rights and to prevent net reduction of waterfront access sites, not all existing slips can be transferred away from a given donor site. At least one existing power boat slip per 100 feet of shoreline, or one per parcel if less than 100 feet of shoreline is owned, shall be retained at the donor site and shall not be eligible for transfer.

**Comment [ 13]:** FWC language

11. Slip transfers may be allowed only if all federal, state, and local approvals at the receiving site are obtained for the proposed work and operations required for transfer.



# Memorandum



**Date:** October 13, 2016

Agenda Item No. 2B8  
November 1, 2016

**To:** Honorable Chairman Jean Monestime  
and Members, Board of County Commissioners

**From:** Carlos A. Gimenez  
Mayor

A handwritten signature in black ink, appearing to read "Carlos A. Gimenez".

**Subject:** Report on the County's Marina Capacity and Long-Term Plans for Addressing Shortages in Marina Capacity – Directive 152795

At the January 20, 2016 Board of County Commissioners (Board) meeting, the Board adopted Resolution No. R-67-16 (Attachment 1) sponsored by Senator Javier D. Souto directing the Mayor or Mayor's designee to submit a report to the Board within 180 days setting forth the County's marina capacity and providing a long-term plan for addressing shortages in marina capacity.

## **Introduction and Background**

The Parks, Recreation and Open Spaces Department (PROS), along with other municipal and State agencies, operates six (6) marinas and manages extensive areas of Biscayne Bay waterfront land and submerged areas for recreational access. Increasing demand by residents and tourists for recreational access to waterfront land and nearshore boating and mooring opportunities, coupled with decreasing supply of private boating facilities throughout the area, have created a growing conflict between demand and supply, and have placed extraordinary pressure on the County's existing marinas. Acknowledging that recreational interests must be balanced with the interests of conservation of the environmental resources, sustainable commerce, tourism, and resident's quality of life, Senator Souto has asked PROS to explore what available avenues may exist for the addition of boat storage capacity in Miami-Dade County parks.

PROS is working towards establishing a comprehensive, countywide approach to expand public recreational waterfront access and boat storage opportunities. A study is proposed to identify additional publicly accessible shorelines, connectivity of private shorelines, accessible boat ramps, and waterway transport opportunities that are consistent with the County's Open Space Master Plan. This proposed study, the Waterfront Recreation Access Plan (WRAP), will also recommend capital, policy, and administrative improvements to publicly-owned waterfronts and waterways, and measures to protect the sensitive environment of these areas. PROS has prepared a grant application to the Florida Inland Navigation District (FIND) and is seeking other funding sources for the development of this plan, which is contingent on identifying funding. The cost of this plan is estimated at approximately \$300,000.00.

## **Existing Boat Storage Capacity**

The boat storage capacity at Miami-Dade County marinas varies by location, storage type, and accessibility, based on basin depth and vessel draft. As shown in the table below, of the six (6) marinas, four (4) have County-operated dry storage spaces and two (2) have lease-operated dry rack storage. There are a total of 32 commercial spaces for charter and fishing vessels, 1,069 wet slips, and 87 mooring spaces. The total number of spaces in the County's marina system is 2,258. All of the marinas are at capacity and have waiting lists for wet slips.

A new, fully enclosed dry rack storage building is scheduled to open September 2016 at Bill Bird Marina at Haulover Park. The new 104,940 square foot building will accommodate an additional 234 boats in stackable storage racks, nearly doubling the dry storage space. This will increase capacity from 268 dry rack spaces to 502. The new dry storage building is capable of accommodating vessels up to 50 feet in overall length.

The current capacity of our marinas is as follows:

MDC Marina	Number of Wet Slip Spaces	Number Of Dry Storage Spaces	Number of Dry Rack / Stackable (Lease Operated)*	Number of Commercial Spaces	Number of Mooring Spaces	Total Number of Spaces per Marina
Bill Bird 10800 Collins Avenue, Miami Beach	125	-	508	22	-	655
Black Point 24775 SW 87 Avenue, Miami	180	37	300	-	-	517
Crandon 4000 Crandon Boulevard, Key Biscayne	236	124	-	10	60	430
Herbert Hoover 9698 North Canal Drive, Homestead	177	30	-	-	-	207
Matheson Hammock 9610 Old Cutler Road	243	71	-	-	-	314
Pelican Harbor 1275 NE 79 Street, Miami	108	-	-	-	27	135
<b>Total Number of Spaces by dockage type</b>	<b>1,069</b>	<b>262</b>	<b>808</b>	<b>32</b>	<b>87</b>	<b>2,258</b>

**Waiting Lists at County Marinas**

The Florida Department of Environmental Protection estimates that the total number of boat slips in Florida now is about the same as it was in 1987, and that, over the same period, the number of registered boats in the state has risen by more than 50 percent. In order to provide boating facilities in a timely manner, it is necessary to continuously monitor the level of demand. For marinas this means maintaining a permanent waiting list that indicates the length, width, and beam of the boat requiring a slip or mooring.

A recent industry study indicates that, when an individual marina has reached capacity (i.e. 95 percent or more occupancy) and the marina manager has a documented waiting list approaching one-half of the number of slips, a new or expanded facility is warranted. All six (6) Miami-Dade County marinas are at 100 percent occupancy and in three (3) of the marinas the waiting list already exceeds 50 percent of capacity. It should be noted that the environmental, planning, and construction steps involved in bringing a new marina to fruition will likely take a minimum of four (4) years (i.e. planning, environmental assessment process, and design; approvals by various government agencies; and construction).



The number of individuals that are on waiting lists for each of the County-operated marina facilities fluctuates month to month. As of July 27, 2016, a total of 1,171 individuals are on PROS' waiting list registry. The chart below identifies the number of individuals on the list by marina and by type of storage space requested:

MDC Marina	Number of Customers on Waitlist For Wet Slips	Number of Customers on Waitlist for Dry Storage	Number of Customers on Waitlist for Commercial	Number of Customers on Waitlist for Mooring Spaces	Total Number of Customers on Waitlist
Bill Bird	90	-	12	-	102
Black Point	68	-	-	-	68
Crandon	300	160	5	13	478
Herbert Hoover	42	25	-	-	67
Matheson Hammock	302	110	-	-	412
Pelican Harbor	41	0	-	3	44
<b>Total customers on waitlist by dockage type</b>	<b>843</b>	<b>295</b>	<b>17</b>	<b>16</b>	<b>1,171</b>

\*PROS does not maintain waiting lists for dry rack/stackable spaces managed by lease operators.

**Facilities Pricing Structure Analysis**

PROS conducted a fee comparison of annual wet slip rates offered by other public and privately-owned marinas in the area. The data collected reflects that rates at other public marinas in South Florida are on average, 38.6 percent higher than the County's rates. When the County rates were compared to privately-owned marina rates, the private marinas were, on average, 40 percent higher than the County's rates. It is worth noting that there are significant differences in the amenities offered at private marinas when compared to public marinas.

The fee comparison study also shows that discounted rates for residents are not offered by the majority of other local public marinas. Furthermore, since most marina customers are Miami-Dade County residents (as are those on our waiting lists), it is unlikely that a discounted resident rate would significantly help with the shortage of slips.

**County Properties Suitable for Marina Development**

The finite amount of developable waterfront properties in Miami-Dade County limits opportunities for marina expansion and new development. In addition, some public and privately-owned accessible marinas, boatyards, and boat ramps have ceased operation or have been displaced by housing and other non-water dependent development, adding to the dearth of waterfront access.

Within the County's current parks system, only Chapman Field Park and Homestead Bayfront Park have the potential for expanded marina development. Currently there are no marina operations conducted at Chapman

Field Park. However, the park is being remediated in response to recent contamination findings. The remediation will be completed in such a way as to allow for the possibility of future development of a marina boat ramp operation with parking due to its proximity to Biscayne Bay. Developing boat ramp spaces at Chapman Field Park would potentially alleviate the frequency of ramp closures at nearby marinas during the busy boating season (March - September). Expansion is also possible at Herbert Hoover Marina in Homestead Bayfront Park. The dry storage area at this park consists of 30 spaces. Potential for expansion of the current dry storage area exists and would increase the capacity for boat storage at this location.

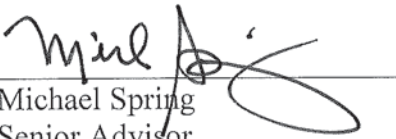
In addition to the park sites above, the County has also explored a site at the Cutler Power Plant located at SW 152 Street and 67 Avenue. In 2014, a letter of interest was sent to FPL regarding the use of a portion of the site for a boat launch. The letter stated that the County was seeking to acquire an additional marina site to accommodate smaller boats to diminish the traffic impacts to the marinas at Black Point and Matheson Hammock parks, and was, therefore, interested in a portion of the property. FPL is still considering its options in relation to this property and the property is currently not up for sale. Development of a marina on this site would be contingent upon community support and available funding. The site currently has permitted boat ramps and a boating channel that leads out to Biscayne Bay.

**County's Long-Term Plan for Marina Capacity**

The importance of developing parks with waterfront access is part of the County's overall vision of providing opportunities for visitors and residents alike to experience Miami-Dade County as a waterfront community. The Waterfront Recreation Access Plan study proposed by PROS will identify opportunities for additional publicly accessible marinas, boat ramps, trailer parking, public mooring and docking facilities, environmental restoration areas, eco-tourism possibilities, waterfront destinations, blueway trails, and commercial waterway transport opportunities. The WRAP will also inventory existing conditions and future opportunities for increased water access and possible public/private partnership opportunities.

Per Ordinance 14-65, this memorandum will be placed on the next available Board of County Commissioners meeting agenda.

If additional information is needed, please contact PROS Director Jack Kardys at (305) 755-7903.

  
Michael Spring  
Senior Advisor

Attachment1: Resolution No. R-67-16

- c: Abigail Price-Williams, County Attorney
- Michael Spring, Senior Advisor, Office of the Mayor
- Jack Kardys, Director, Parks, Recreation and Open Spaces Department
- Neil R. Singh, Interim Commission Auditor
- Christopher Agrippa, Clerk of the Board
- Eugene Love, Agenda Coordinator



# Attachment 1

## MEMORANDUM

Agenda Item No. 11(A)(18)

**TO:** Honorable Chairman Jean Monestime  
and Members, Board of County Commissioners

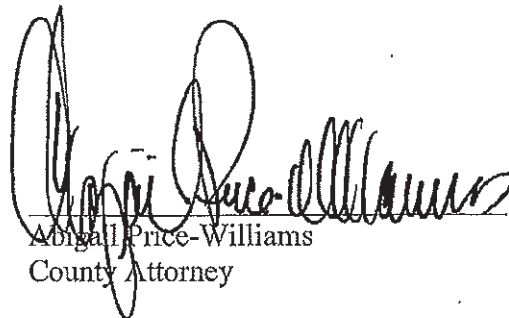
**DATE:** January 20, 2016

**FROM:** Abigail Price-Williams  
County Attorney

**SUBJECT:** Resolution directing the County  
Mayor to prepare and submit a  
report to the Board setting forth  
the County's marina capacity and  
providing a long-term plan for  
addressing shortages in marina  
capacity

Resolution No. R-67-16

The accompanying resolution was prepared and placed on the agenda at the request of Prime Sponsor Senator Javier D. Souto.



Abigail Price-Williams  
County Attorney

APW/lmp

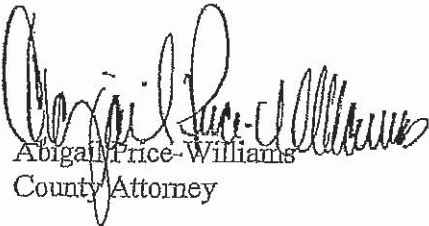


# MEMORANDUM

(Revised)

**TO:** Honorable Chairman Jean Monestime  
and Members, Board of County Commissioners

**DATE:** January 20, 2016

**FROM:**   
Abigail Price-Williams  
County Attorney

**SUBJECT:** Agenda Item No. 11(A)(18)

Please note any items checked.

- "3-Day Rule" for committees applicable if raised
- 6 weeks required between first reading and public hearing
- 4 weeks notification to municipal officials required prior to public hearing
- Decreases revenues or increases expenditures without balancing budget
- Budget required
- Statement of fiscal impact required
- Statement of social equity required
- Ordinance creating a new board requires detailed County Mayor's report for public hearing
- No committee review
- Applicable legislation requires more than a majority vote (i.e., 2/3's \_\_\_\_\_, 3/5's \_\_\_\_\_, unanimous \_\_\_\_\_) to approve
- Current information regarding funding source, index code and available balance, and available capacity (if debt is contemplated) required



Approved \_\_\_\_\_ Mayor  
Veto \_\_\_\_\_  
Override \_\_\_\_\_

Agenda Item No. 11(A)(18)  
1-20-16

RESOLUTION NO. R-67-16

RESOLUTION DIRECTING THE COUNTY MAYOR OR  
DESIGNEE TO PREPARE AND SUBMIT A REPORT TO THE  
BOARD SETTING FORTH THE COUNTY'S MARINA  
CAPACITY AND PROVIDING A LONG-TERM PLAN FOR  
ADDRESSING SHORTAGES IN MARINA CAPACITY

**WHEREAS**, many Miami-Dade County residents enjoy partaking in maritime recreation, including through recreational activities that involve boats (e.g., watersports, fishing, and recreational boating); and

**WHEREAS**, many Miami-Dade County residents choose to purchase boats for their pursuit of the maritime past times of their choice; and

**WHEREAS**, despite its extensive coastline, there is a dearth of public marina facilities in Miami-Dade County; and

**WHEREAS**, as a result, many Miami-Dade County residents are forced to keep their boats at home, which leads to a variety of problems, including, but not limited to, traffic jams in the vicinity of public boat launches (e.g., Matheson Hammock Park) and blight to the residential areas that must store the boats when they are not in use; and

**WHEREAS**, for the convenience of boaters and to mitigate the problems associated with the storage of boats in non-marina areas, this Board desires to explore what available avenues may exist for the addition of boat storage capacity in Miami-Dade County parks,

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MIAMI-DADE COUNTY, FLORIDA**, that the County Mayor or designee is directed to prepare a written report setting forth (1) the existing extent of boat storage

capacity in County-operated marina facilities (including dry and wet storage) and how capacity is anticipated to change in the next five years; (2) how many individuals are on waiting lists for each of the County-operated marina facilities; (3) whether changes to the County's pricing structure for marina facilities would ameliorate shortages (e.g., by charging County residents a discounted amount versus non-County residents); (4) what County properties are suitable for marina development; and (5) the County's long-term plan for addressing the existing marina shortage issues. The County Mayor or designee shall provide the report to this Board within 180 days of the effective date of this resolution and shall place the completed report on an agenda of the Board pursuant to Ordinance No. 14-65.

The Prime Sponsor of the foregoing resolution is Senator Javier D. Souto. It was offered by Commissioner José "Pepe" Diaz, who moved its adoption. The motion was seconded by Commissioner Sally A. Heyman and upon being put to a vote, the vote was as follows:

	Jean Monestime, Chairman	aye	
	Esteban L. Bovo, Jr., Vice Chairman	aye	
Bruno A. Barreiro	aye	Daniella Levine Cava	aye
Jose "Pepe" Diaz	aye	Audrey M. Edmonson	aye
Sally A. Heyman	aye	Barbara J. Jordan	aye
Dennis C. Moss	aye	Rebeca Sosa	aye
Sen. Javier D. Souto	absent	Xavier L. Suarez	absent
Juan C. Zapata	aye		



The Chairperson thereupon declared the resolution duly passed and adopted this 20<sup>th</sup> day of January, 2016. This resolution shall become effective upon the earlier of (1) 10 days after the date of its adoption unless vetoed by the County Mayor, and if vetoed, shall become effective only upon an override by this Board, or (2) approval by the County Mayor of this Resolution and the filing of this approval with the Clerk of the Board.



MIAMI-DADE COUNTY, FLORIDA  
BY ITS BOARD OF  
COUNTY COMMISSIONERS

HARVEY RUVIN, CLERK

By: Christopher Agrippa  
Deputy Clerk

Approved by County Attorney as  
to form and legal sufficiency.

A handwritten signature in black ink, appearing to read "MAG", is written over a horizontal line.

Miguel A. Gonzalez

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